

# CITY OF BELLAIRE TEXAS

## PLANNING AND ZONING COMMISSION

JULY 12, 2018

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Council Chamber

Regular Session

6:00 PM

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7008 S. RICE AVENUE  
BELLAIRE, TX 77401



### Chairman

Mr. Dirk Stiggins

### Commissioner

Mike Baker

### Commissioner

Jonathan Saikin

### Commissioner

Mike Axelrad

### Commissioner

Ross Gordon

### Commissioner

Weldon Taylor

### Commissioner

John T. Klug

### Commissioner

Pamela Nelson

### Vice Chairman

Marc Steinberg

### Commissioner

S. Lynne Skinner

### Mission Statement:

*The City of Bellaire is dedicated to outstanding quality service and facilities to ensure an open, progressive, and secure community.*



**I. CALL TO ORDER****II. ANNOUNCEMENT OF QUORUM****III. REMINDER TO CITIZENS DESIRING TO ADDRESS THE COMMISSION****IV. APPROVAL OF MINUTES FROM PAST MEETINGS**

- A. Planning and Zoning Commission - Workshop Session - Apr 4, 2018 5:00 PM
- B. Planning and Zoning Commission - Regular Session - Apr 12, 2018 6:00 PM

**V. UNFINISHED BUSINESS, COMMUNICATIONS, AND REPORTS**

- A. Discussion, consideration, and possible action on the Commission's recommendation of the Community Pathways Plan.

**VI. SWEARING IN OF NEW COMMISSIONERS (INCOMING COMMISSIONERS ASSUME DUTIES AND OUTGOING COMMISSION RETIRES)****VII. GENERAL PUBLIC COMMENTS**

- A. **Persons at the meeting who have indicated their desire to be heard on matters of general interest to the Commission by submitting the form provided shall have three minutes to present their comments. The Commission is not permitted to fully discuss, debate, or consider items that are not on the agenda. Questions presented to the Commission may be referred to staff.**
- B. **Comments and updates from the Commission's City Council Liaison**

**VIII. INCOMING COMMISSION**

- A. **Introduction of Incoming Commissioners**
- B. **Election of Chair and Vice Chair**
- C. Adoption of the Rules of Procedure

**IX. CURRENT BUSINESS (ITEMS FOR DISCUSSION, CONSIDERATION, AND/OR POSSIBLE ACTION)****A. Public Hearings**

Docket # SU-2018-04-Public hearing on an application filed by Daniel Chang, as applicant, for a Specific Use Permit as required by the City of Bellaire Code of Ordinances, Chapter 24, Planning and Zoning, Section 24-605, Application for Specific Use Permit, to allow for the operation of a drive-through hand car wash and detail facility at 5235 Bellaire Boulevard, as provided for in Section 24-536 B. (2) d)2) of the City of Bellaire Zoning Code. The property is located within the Corridor Mixed-Use (CMU) Zoning District.

**i. Presentation of the Public Hearing Process**



**ii. Presentation by the Applicant****iii. Staff Findings****iv. Public Comments**

- a. Persons at the meeting who have indicated their desire to address the Commission by submitting the form provided shall have three (3) minutes each to present comments concerning the Application. This time limit may be extended to five (5) minutes at the discretion of the Chair with the consent of the Commission.

**v. Response of Applicant****vi. Questions from the Commission****vii. Invitation for Written Comments, if applicable****viii. Closure of the Public Hearing**

- B. Discussion on Chapter 2, Administration, Article VII, Boards and Commissions, Section 2-92, Creation of New Boards, subsection (b) of the Code of Ordinances of the City of Bellaire.

**X. REPORT OF STAFF, COMMITTEES, AND CORRESPONDENCE.**

- A. Staff liaison report on the status of projects previously addressed by the Commission as well as projects for future meetings.

- i. BBEOD

- ii. Fence Heights

- iii. Beautification Master Plan

- iv. Inconsistency between Section 24-508 of the City of Bellaire Code of Ordinances and Section 105.2.10 of the International Building Code

**XI. NEW BUSINESS**

- A. The Chairman shall recognize any Commissioner who wishes to bring New Business to the attention of the Commission. Consideration of New Business shall be for the limited purpose of determining whether the matter is appropriate for inclusion of a future Agenda of the Commission or for the referral to staff for investigation.

**XII. ADJOURNMENT**





# CITY OF BELLAIRE TEXAS

## PLANNING AND ZONING COMMISSION

APRIL 4, 2018

Council Conference Room

Workshop Session

5:00 PM

7008 S. RICE AVENUE  
BELLAIRE, TX 77401

### I. WORKSHOP SESSION

#### 1. Call to Order

Workshop was called to order at 5:06 PM by Chairman Stiggins announced quorum consisting of Commissioners Gordon, Skinner, Saikin and Taylor.

2. Discussion on the City of Bellaire's 2019-2023 Draft Capital Improvement Plan, with an emphasis on incorporating the Flood Hazard Mitigation Report.

Ms. Sampson began with background information of flood hazard activities that will show up in the Capital Improvement Plan. She stated that since October, there has been 8 meetings with Flood Hazard Mitigation Task Force, and as of March 16, City Council has adopted the Flood Hazard Mitigation Report. She mentioned that during these meetings, flood hazards for the City of Bellaire were discussed and identified, along with a discussion of mitigation options and goals from which an action plan was formed. She stated that all meetings were open to the public and at the end of each meeting, they received feedback from anyone in the audience. She announced that a matrix has been adopted into the overall Flood Hazard Mitigation Report. Ms. Sampson then said that a majority of the communications and reports were done by ARKK Engineering, the consulting engineer. She directed the Commission to the Action Matrix Chart, the main product of the Task Force meetings. She mentioned that there was about another week and a half left for open comments on the report, and from there, she will send it to FEMA to get their approval. She stated that the main focus throughout process was to make sure that the City came up with mitigation efforts that are particular and specific to Bellaire. Ms. Sampson informed the Commission if they wanted to understand how activities from the report were going to relate to the CIP, they should refer to the Structural Projects section of the matrix.

Chairmain Stiggins asked if FEMA was going to approve the matrix.

Ms. Sampson answered that FEMA will have to approve the Flood Hazard Mitigation report as part of the process to maintain good standing in the Community Rating System.

Ms. Jordan went through the summary that talked about various inputs and reports that have gone into the thinking behind the CIP and the recommended projects in different areas. She mentioned the draft for the CIP is the same from the last meeting since no changes have been made. She stated there was a letter of recommendation from the Parks and Recreation Advisory Board who want to focus on project completion and safety. She also mentioned there was a sheet that has the recommendations from the City of Bellaire team on how to incorporate and implement structural projects. She stated that Bonds for Better Bellaire 2016 includes street and drainage improvements which have been underway, and that

Minutes Acceptance: Minutes of Apr 4, 2018 5:00 PM (Approval of Minutes from Past Meetings)



they do include flood improvements as well. She noted that many of the projects the Flood Hazard Task Force has recommended for future studies and implementations, need to have more studies and feasibility analysis to get a better cost estimate before funding strategies can be developed.

Commissioner Gordon asked for clarification on how the flood mitigation pieces get tacked into the CIP and if the intent is still to spend what has been proposed.

Ms. Jordan responded yes, the proposed fiscal year 2019 is unchanged for the various categories and funding sources.

Commissioner Gordon then questioned how are studies being funded if the current CIP does not have flood mitigation actions.

Mr. Hofmann replied that the City of Bellaire has been implementing drainage projects consistently with bond programs for the last 30 or more years that resulted in flood prevention and drainage management. He then stated that the City has been making sure it's doing everything needed to line up for funding from FEMA that is being administered through the Texas Department of Emergency Management such as notices of intent to have projects funded through that money. He stated if the City is eligible for grant funding for a major regional project, it would come from the 2019 bond program. If needed, the City may need to borrow from the 2016 bond program or reallocate funds.

Ms. Jordan confirmed that the current CIP was not updated with the Task Force recommendations mainly because we do not have good cost estimates to know how to start budgeting.

Commissioner Saikin asked if what was recommended from the 2016 engineer's report is already incorporated into the CIP.

Mr. Hofmann and Mr. Andrews both answered yes.

Ms. Jordan summarized the general plan for implementing all of the inputs of information and recommendations over the next several years. She stated that it is broken down into 3 categories: existing projects, recommended projects that could be part of Bonds for Better Bellaire, and the 100-year detention program. She mentioned that the notice of intent has been submitted for moving the Waste Water Treatment Plant to City of Houston.

Commissioner Skinner asked if there would be an increased cost to citizens if Bellaire's waste water facility moves to Houston.

Mr. Hofmann said he can't be sure because it is uncertain if the City of Houston would charge the same amount to treat Bellaire's waste water. He added there would be additional capital costs to move our facilities to Houston's.

Chairman Stiggins asked how would Bellaire protect itself if it is combined with Houston.

Mr. Hofmann stated we would have to be careful, but the collection system would still be Bellaire's. Houston would be responsible for any issues with TCEQ or EPA standards.



Ms. Jordan mentioned that there are 3 projects (items 3, 6, and under the Structural Improvements section of the matrix) recommended to reallocate funds in order to complete feasibility studies for determining the costs and benefits for the 3 projects. If it's determined that they are good projects execute, funds can be added to the Bonds for Better Bellaire 2019 since we will know how much these projects will cost, and also be better equipped to talk to the voters about it. Ms. Jordan reviewed the structural improvements of the matrix and provided examples of each.

Chairmain Stiggins asked in general, if any feasibility study would come out of the general fund.

Ms. Jordan replied that there is no definite answer on that.

Mr. Hofmann added that it would come from the CIP cash or the general fund of other projects, not the one that pays for operations.

Chairman Stiggins asked how much would it cost to complete the studies.

Mr. Andrews answered at least \$50,000 per study.

Commissioner Saikin stated that the general feeling was that what's being said is not translating into the documents that they've received from the CIP, and that most of the projects do not seem realistic.

Ms. Jordan responded that in the current fiscal year, there are projects that have already been funded and have the opportunity to evaluate those projects, and maybe will no longer proceed with projects that were approved last year. It is also an option to change projects that are being asked for next year. She asked the Commission for input on what projects they would not want to see go away and what projects they think could be done without right now to do the studies instead.

Mr. Hofmann mentioned that he will have to make a recommendation to City Council and would like to be able to say that he's listened to Planning and Zoning, and the Parks Board in making his recommendation where he can take into consideration everyone's input.

Commissioner Gordon stated that the Commission considers flood control activities to be the number one priority and believes that the Commission would not give much resistance towards prioritizing the studies.

Commissioner Skinner said that it seemed that safety and health issues need to have priority and that everything else is pushed to the side and save money for the 3 flood mitigation studies.

Chairman Stiggins stated that we need to be more transparent in the CIP about how much money these studies and projects are going to cost for the average resident to understand.

Mr. Hofmann clarified that the CIP is still a work in progress and that if the Commission or Chair wants to be more precise in their recommendation in regards to what will be studied and how much it will cost, he would be happy to take a few extra weeks to do so.



Chairman Stiggins mentioned that he would like to add in a tie between CIP and what's going to happen so the residents can visually understand what's going to happen. He asked if Commissioner Gordon would repeat his recommendation.

Commissioner Gordon recalled his recommendation of the City peeling back, or eliminating, non-essential items for all aspects of the budget and prioritize flood mitigation studies and fast track flood mitigation projects.

Chairman Stiggins requested to add that it actually represent what's its going to cost.

Commissioner Gordon asked Mr. Hofmann if he would be going to City Council with a bond number.

Mr. Hofmann answered that he would be and would be tying it into the City's fiscal forecasting to talk to the Council about affordability and tax rate. After discussion from the Commission about tax rates and property values, Mr. Hofmann stated that what property actually sells for and what taxes are paid in Bellaire is not necessarily reflected by the appraisal district. He then mentioned that we do not have a preliminary role from the appraisal district, but we are in conversation with them because we are trying to forecast it. He stated that he does not project a tax rate, but a revenue need to determine how much money we need to cover services and operations. He mentioned that the recommendation from the Flood Mitigation Task Force is to spend more money on flood mitigation than ever before, and that it will ultimately be up to the City Council to decide on spending.

Commissioner Skinner said that the message they'd want to put forward is flood mitigation priority, safety and security, and maintenance.

Chairman Stiggins added that he'd like for the recommendation to include in the CIP the best estimate of the study cost.

Mr. Hofmann stated that he rather not identify where the money comes from and instead be more precise in how much the studies cost.

Chairman Stiggins summarized the Commission's recommendation for the CIP to focus all costs on flood control issues and the costs.

Commissioner Gordon inquired about the other 9 structural improvement projects and if they were currently not proposed to be studied with the available funds.

Ms. Sampson answered that all 12 are represented throughout the matrix, but not all 12 are studies.

Commissioner Saikin questioned if anything from the 2016 study has not been implemented yet.

Mr. Hofmann answered yes, and that there is a limit of how much can be done with current resources.

Commissioner Skinner asked when their letter of recommendation would be going to Council.

Mr. Hofmann replied that it would be a part of the recommended capital plan from him, hopefully in early May.



Commissioner Gordon asked if they could get a draft before the meeting.

Ms. Parcus answered that a draft will be a part of the agenda packet.

### **3. Public Comments**

There were no public comments.

### **4. Adjournment**

**Chairman Stiggins closed the workshop at 6:51 PM.**





# CITY OF BELLAIRE TEXAS

## PLANNING AND ZONING COMMISSION

APRIL 12, 2018

Council Chamber

Regular Session

6:00 PM

7008 S. RICE AVENUE  
BELLAIRE, TX 77401

### I. CALL TO ORDER AND ANNOUNCEMENT OF QUORUM

Name	Title	Status	A
kin	Commissioner	Absent	
	Commissioner	Absent	
	Commissioner	Present	
or	Commissioner	Present	
rg	Vice Chairman	Present	
	Chairman	Absent	
nnner	Commissioner	Present	
s	Development Services Coordinator	Present	
ampson	Development Services Manager	Present	
ov	Assistant City Attorney	Present	
ard	Council Member	Present	

### II. APPROVAL OF MINUTES FROM PAST MEETINGS

1. Planning and Zoning Commission - Regular Session - Mar 8, 2018 6:00 PM

**RESULT:**           **APPROVED [UNANIMOUS]**  
**MOVER:**           Ross Gordon, Commissioner  
**SECONDER:**       Weldon Taylor, Commissioner  
**AYES:**             Gordon, Taylor, Steinberg, Skinner  
**ABSENT:**           Saikin, Axelrad, Stiggins

### III. REMINDER TO CITIZENS DESIRING TO ADDRESS THE COMMISSION

### IV. GENERAL PUBLIC COMMENTS

1. Persons at the meeting who have indicated their desire to be heard on matters of general interest to the Commission by submitting the form provided shall have three minutes to present their comments. The Commission is not permitted to fully discuss, debate, or consider items that are not on the agenda. Questions presented to the Commission may be referred to staff.

There were no general public comments.

### 2. Comments and updates from the Commission's City Council Liaison

There was no comment or update from the Commission's City Council Liaison.

Minutes Acceptance: Minutes of Apr 12, 2018 6:00 PM (Approval of Minutes from Past Meetings)



## V. CURRENT BUSINESS (ITEMS FOR DISCUSSION, CONSIDERATION, AND/OR POSSIBLE ACTION)

1. Docket #SU-2018-03-Discussion, consideration, and possible action on an application filed by Steven Gee, Houston Independent School District Project Manager, for an amendment to Specific Use Permit S-89, approved by City Council with Ordinance No. 17-055, and required by Chapter 24, Planning & Zoning, Section 24-532 B. (2) a), to include an addendum within the original Specific Use Permit that allows for the temporary use of the existing Gordon Elementary School site by Kolter Elementary School until such time that construction is complete on the new Kolter Elementary School campus and students are able to occupy the new building. The property is located at 6300 Avenue B, within the R-3 Residential Zoning District.

Mrs. Sampson stated that the application was found to meet the standards set forth in Section 24-615 of the City's Code of Ordinances. She then stated that the Development Services Department recommends approval of the application request and to include an addendum in the Special Use Permit S89 allowing for Kolter Elementary School to utilize the property at 6300 Avenue B until construction is completed and students are able to occupy the new building.

Commissioner Taylor asked about the public hearing discussion and a certain date for the termination of the SUP.

Mrs. Sampson replied that at this time, it didn't feel necessary to set a date because of they are under their own deadline from the high school's need of a baseball field.

Commissioner Gordon recalled the mention of HISD's commitment of maintaining the bus program from the existing Kolter site to the new school. He stated that relevant or proper to include a condition in the permit that HISD maintain that program for the duration of their occupancy to protect against changes in traffic that may occur if the program is removed.

Vice Chair Steinberg asked the Commission wanted to put a motion on the floor to approve the consideration adding the bus program maintenance condition as a required addition.

Steven Gee, HISD Project Manager, stated the plan is to continue the bus program and to continue the exact traffic pattern that they've been following for the last 6 months.

<b>RESULT:</b>	<b>APPROVED WITH CONDITIONS [UNANIMOUS]</b>
<b>MOVER:</b>	Ross Gordon, Commissioner
<b>SECONDER:</b>	S. Lynne Skinner, Commissioner
<b>AYES:</b>	Gordon, Taylor, Steinberg, Skinner
<b>ABSENT:</b>	Saikin, Axelrad, Stiggins

2. Approval of the Commission's Report and Recommendation to City Council regarding an amendment to Specific Use Permit S-89.



<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	Ross Gordon, Commissioner
<b>SECONDER:</b>	S. Lynne Skinner, Commissioner
<b>AYES:</b>	Gordon, Taylor, Steinberg, Skinner
<b>ABSENT:</b>	Saikin, Axelrad, Stiggins

3. Approval of the Planning and Zoning Commission's Report and Recommendation to City Council regarding the Draft 2019-2023 Capital Improvement Plan.

Ms. Jordan stated there were 2 revised documents since they met at the workshop a week ago. She mentioned that the revised document shows clearer definition of what the scope of the project would be and secure preliminary cost estimates for the study portions of the work to better determine what the actual project cost would be. Ms. Jordan stated that the projects would be candidates for grant programs and/or Bonds for Better Bellaire 2019. She directed the commission to the second page of the document for the projects that were identified as candidates for non-bond cash, projects that City of Bellaire has the greatest interest in and control the better portion of the scope of work. She mentioned those studies could reasonably be expected to be funded out of monies the City has available to better determine cost estimates. She worked with James Andrew, the City Engineer, to get cost estimates for the studies and that the descriptions of the projects are now more thorough. She mentioned that Mr. Andrews extensively clarified the scope of work of each study. She invited the Commission to read through to see the amount of work that would go into each of the study.

She stated there is not a true revised 5-year CIP that will show where they will find the money for the projects the City is trying to fund. Ms. Jordan stated that they have been looking into 4 projects and will need to have more discussions with the project owners and the Parks Department to see how much they can scale back on those.

Commissioner Gordon asked if the studies occurring in 2020 would be too late to get supporting grant applications for funding.

Ms. Jordan replied that there could be a chance of that, and there could also be a chance that those projects, once the studies are complete, would not be able to get into the 2019 bond program. She mentioned what is still in discussion is two-fold. The first question is how much can the City really fund within the next year to get ready for the 2019 bond election, and second, the need to develop study for north-south drainage system, which is the backbone that's going to provide the framework system for the subsequent studies. She added they can't actually do all 3 studies at the same time. Ms. Jordan then noted they don't have developed scheduled with engineers to know if the studies can be completed in a specified time frame and that it needs to be worked through.

Vice Chair Steinberg announced that a letter has been drafted and that Commissioner Gordon has suggestions for changes to the letter where the commission can make suggestions for changes or additions that will then be forwarded to City Council.

Commissioner Gordon made a motion to replace the recommendation section of the letter with a statement that reads City staff concurs with the Commission's stated preference to prioritize a media study of fast track infrastructure projects to address flooding issues identified by Hurricane Harvey and other recent severe storm events.



He added from the statement that the recommendations from the Flood Mitigation Task Force has not been integrated in the 5-year CIP. He moved onto the Commission's recommendations to reallocate funding from non-essential or discretionary projects in order to prioritize funding for flood mitigation feasibility studies and/or fast track flood infrastructure projects to be completed in 2018 and 2019; to ensure sufficient funding set aside to support efforts to the pursuit and capture of available grant funding to reduce burden of debt on Bellaire taxpayers; and to consider and potentially fast track drainage infrastructure projects. In conclusion, the Commission reiterated the importance of aggressively addressing flooding challenges in Bellaire and hope that the final CIP recommended by City Staff will reflect the urgency and integrates the recommendations by the Flood Mitigation Task Force.

Commissioner Skinner recommended that the letter be amended to include that "non-essential items not dealing with health, safety, and security" to the first recommendation of reallocating funding.

Commissioner Taylor agreed.

Commissioner Gordon suggested to add it in parentheses.

<b>RESULT:</b>	<b>ADOPTED AS AMENDED [UNANIMOUS]</b>
<b>MOVER:</b>	Ross Gordon, Commissioner
<b>SECONDER:</b>	S. Lynne Skinner, Commissioner
<b>AYES:</b>	Gordon, Taylor, Steinberg, Skinner
<b>ABSENT:</b>	Saikin, Axelrad, Stiggins

#### **4. Discussion on the current regulations set forth in the City of Bellaire's Code of Ordinances regarding parking structures within the Corridor Mixed-Use (CMU) and the Urban Village Downtown (UV-D) Zoning Districts.**

Ms. Parcus provided background information from back in 2012 where Chapter 24 was amended by the Commission to remove certain zoning districts and replace them with the CMU and UVD as an effort to promote growth in the City's downtown corridor. She stated that in March 2014, City Council adopted that ordinance. She added that within those regulations is the by-right allowance for parking structures as a way to minimize the amount of surface parking and create a pedestrian friendly atmosphere. Ms. Parcus mentioned that there are no regulations regarding the parking structures within those zoning districts, but it refers to Section 24-513a of the Code of Ordinances for the design standards. She stated that she looked back at the minutes and found that there was no debate about the parking structures and protecting the surrounding residential areas, but there are things within code that protect residences.

Commissioner Gordon asked for clarification in the instance of the parking garage approved and constructed on a residential street, if the residential street was part of the CMU or if the garage was in CMU but fell in a different zoning area.

Ms. Parcus answered that they are in two different zones and that it is a parking garage within a commercial district that is right next to a residential district. She then stated the ingress and egress of the site is not changing, and that it is strictly moving from surface parking to structure parking.

Commissioner Taylor asked if there was any SUP requirement.



Ms. Parcus replied no, and stated that depending on the size of the property for commercial development, they will have height regulation which is either 40 or 53 feet depending on the district.

Commissioner Taylor recalled the discussions from the Bellaire High School parking garage and the issues surrounding it.

Vice Chair Steinberg responded that it was a whole different issue and, at the time, it was not talked about that there could be a multi-level garage next to a residential area. He added that the situation is unique because it didn't have anything to do with height since it was so far away from the actual structure so it complied with all the rules and there was nothing to think about until it was done.

Commissioner Gordon questioned the ingress and egress boundary because there may be a way to restrict a potential high-volume entrance and exits on a residential street with a change requiring parking garages in a CMU district to have their ingress and egress within the CMU district.

Vice Chair Steinberg noted there will be no new entrance and the same entrance is being used to get in the new Town Center.

Ms. Sampson responded that the location of the entrance is the same and that it acutally may be closer to the street, but it's now being bumped over to make it safer. She then said that there will be no new curb cut or entrance. Ms. Sampson stated that there is a buffer in zoning classification before getting into the CMU.

Commissioner Gordon asked what the specific complaint was in regards to the parking garage.

Vice Chair Steinberg answered that the complaint was that the numerous cars coming out would be shining lights into his house.

Commissioner Taylor recalled a concern that the garage was approved without review from the commission, in case there was an issue that needed to be addressed.

Vice Chair Steinberg questioned if they wanted to start approaching that anybody who wants to get a permit to replace what they already have, and would have to come through Planning & Zoning. He stated that his answer would be no, and that they want to enourage development and freedom to abide by the rules that have been set.

Commissioner Gordon agreed he did not want to create undue burdens with promoting development. He presented a consideration for future discussions of putting in place a restriction on parking garages that release traffic onto a residential street might be subject to additional review.

Vice Chair Steinberg recommended to table the discussion for a future date and time.

Commissioner Skinner seconded the recommendation.

## **VI. COMMITTEE REPORTS**

There were no committee reports.

## **VII. CORRESPONDENCE**

There was no correspondence.



## VIII. REQUESTS FOR NEW BUSINESS, ANNOUNCEMENTS AND COMMENTS

### A. Staff liaison report on the status of projects previously addressed by the commission as well as projects for future meetings.

#### a. BBEOD

#### b. Fence Heights

#### c. Beautification Master Plan

Ms. Sampson asked that the discussions on BBEOD, fence heights, and Beautification Master Plan be held off for a later date and time since in July there will be some people that will be termed out and new people coming aboard.

Commissioner Skinner agreed that it would be wise to wait to have fresh new view on the 3 items.

Vice Chair Steinberg asked Ms. Sampson if there is going to be landscaping around HEB.

Ms. Sampson answered yes, there would be.

Vice Chair Steinberg noted that HEB is closer to the street than talked about. He asked that the City take a look into what to do with traffic flow before HEB opens.

Ms. Sampson responded that there is phases of construction going on and after those have been completed then they will look into where the traffic situation stands. She added that the City is aware of the danger and will have a conversation with Public Works about it.

Vice Chair Steinberg recalled HEB agreeing to moving back from the lot line and away from the street.

Ms. Parcus mentioned that it was discussed at the Planning & Zoning level and sent forward to Council as a recommendation that the City would work with Public Works to see how wide the sidewalks could be. She stated it was not added as a part of the condition and that the only condition was the route of delivery trucks.

### B. The Chairman shall recognize any Commissioner who wishes to bring New Business to the attention of the Commission. Consideration of New Business shall be for the limited purpose of determining whether the matter is appropriate for inclusion of a future Agenda of the Commission or for the referral to staff for investigation.

There was no new business brought to the attention of the Commission.

## IX. ADJOURNMENT

**Motion:** a motion was made by Commissioner Taylor and seconded by Commissioner Gordon to adjourn the regular meeting.

**Vote:** the motion carried with a vote of 4-0

**The meeting was adjourned at 6:47 PM.**



**Planning and Zoning  
Commission**

Council Chamber, First Floor of City Hall  
Bellaire, TX 77401-4411



Meeting: 07/12/18 06:00 PM  
Department: Development Services  
Category: Report  
Department Head: ChaVonne Sampson  
DOC ID: 2585

**SCHEDULED****ACTION ITEM (ID # 2585)**

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**Item Title:**

Discussion, consideration, and possible action on the Commission's recommendation of the Community Pathways Plan.

**Background/Summary:**

The purpose of this item on the agenda is to provide an overview to the updated version of the Community Pathways Plan with the Planning and Zoning Commission (P&Z) and to solicit approval. Comments on the prior draft plan from the community, Parks and Recreation Advisory Board (PRAB) and P&Z have been addressed in this latest version.

This project has been underway since the professional services agreement with HR Green Development, LLC was approved at the August 7, 2017 City Council meeting. Feedback from the community was solicited via an online survey from November through December of 2017. Feedback was also received at a community meeting held on January 23, 2018 to discuss the plan. Comments were generally positive and mostly about bicycle and pedestrian safety throughout the City. The proposed pathway locations, cost estimates and maps were presented at the meeting as well as potential projects that could be incorporated into the future Capital Improvement Program. The draft plan also identified recommended sidewalks for the Bonds for Better Bellaire 2016 Group D Phase III Sidewalk Project for connection to the recommended pathways. PRAB, P&Z and the PRAB have been involved during various stages of creating the draft plan including, but not limited to, attending the neighborhood meeting and reviewing the draft plan when it was uploaded to the project website February 21, 2018 for public comment. The comment period for public input was officially open until March 9, 2018. However, additional comments were received through the project webpage by email and phone through June 8, 2018. These comments have also been addressed. This draft plan was taken to PRAB for approval June 20, 2018. The board decided to not take action on this plan and to leave the decision for approval to City Council.



### Use of the Community Pathways Plan

The Community Pathways Plan was created with input from the Comprehensive Plan, the Parks Master Plan, and the 2017 citizen's survey. Each demonstrates an interest for bicycle and pedestrian facilities in the City of Bellaire. The goal of this plan is to improve bicycle and pedestrian travel city-wide within the city's right of way, not on public property. This plan will continue the effort to achieve a comprehensive, highly-utilized and connected pathway system. Upon approval, this plan can serve as guidance for the location and width of pathways during:

- Design and construction of new street and drainage system upgrades;
- Negotiations during new developments for places such as the Chevron site or Bellaire High School; or
- Partnership opportunities with agencies such as the City of Houston for connections to Brays Bayou or to the CenterPoint trail, which has the potential to connect to Memorial Park one day

\*\*\* All of the above options would require various levels of public input to implement the pathways, and are currently not under design as there is no funding to implement this plan.

### Required Action:

Tonight, we are presenting the plan for your approval. The plan addresses all comments received through June 8, 2018. To ease your review of the updated plan, responses to the comments are attached. Below is a snapshot of the substantial changes to the plan since the PRAB's review of the draft plan:

- An executive summary was added;
- Revisions to pathway locations based on feedback from the community and the Texas Department of Transportation. Example. Baldwin was removed from the plan because of limited right of way;
- Provided a minimum recommended pathway width in the exhibits;
- Accommodated all pathway users (basic and avid) with shared use pathways or shared signed roads (road striping and share the road signs);
- Revised the cost estimate to include estimated design fees;
- Provided a visual representation of pathway cross sections; and
- Provided a summary of reported pedestrian and bicycle crashes within Bellaire from 2010

Thank you very much for your time, input and comments.

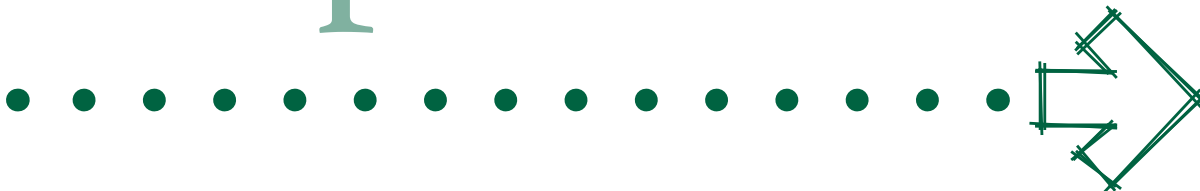
### **ATTACHMENTS:**

- PZ 2018.07.12 Community Pathways Project (PDF)



## *Appendix F:*

# Comments Received on the Draft Report & Responses





# City of Bellaire

## Proposed Community Pathways Plan

### Citizen Comments

**Note:**

The information contained in the attachment contains personal e-mail addresses of members of the public. As required by *Chapter 552, Public Information, Section 552.137, Confidentiality of Certain E-Mail Addresses*, of the *Texas Government Code*, these e-mail addresses are confidential and not subject to disclosure unless the member of the public affirmatively consents to its release. The City Clerk has, therefore, redacted this information from the attachment.

Additionally, the information contained in the attachment contains the address and/or a telephone number of current or former officials of the City of Bellaire, Texas (board and commission members). As required by *Chapter 552, Public Information, Section 552.117, Confidentiality of Certain Addresses, Telephone Numbers, Social Security Number, and Personal Family Information*, of the *Texas Government Code*, addresses and telephone numbers of current or former officials of the City of Bellaire, Texas, have been redacted by the City Clerk.





#	Name	Address	Affiliation	Comment Medium	Comment	Response
1	Miguel Strauss	4825 Spruce Street	Resident	Phone Call (02/22/2018 at 4:22 pm)	City should limit speed on residential streets.	Thank you for your feedback.  This recommendation has been passed along to City's Public Works Staff for evaluation.
2	Dan Singer	[REDACTED]	Resident	Project Website (02/22/2018 at 5:09 pm)	I want the city council to spend our property tax \$ for essential services. Not for sidewalks Not for a new city logo not for trails that a very very few will ever use. Police and firefighters- yes. Water and waste pickup- yes. Spending residents \$ just because the \$ have been collected is not good government. Anyone can Find ways to spend \$. This is not what should be done.	Thank you for your feedback.  The Community Pathways Plan is intended to be implemented over time. City Council authorized the contract to proceed with the project prior to Hurricane Harvey. The implementation (design and construction) and timing of any proposed pathways should the plan be approved would require a separate City Council approval and associated funding authorization. Currently no funding has been earmarked for the implementation of the proposed pathways. Elements of this plan can be implemented when streets and drainage systems are upgraded during a project.
3	Bill Thorogood	[REDACTED]	Resident	Project Website (02/22/2018 at 8:43 pm)	The map shows Maud Gordon Elementary school on avenue B. This is not correct. This site has been approved by City Council as the new Bellaire High School baseball/softball field. While this site is temporarily used as Kolter Elementary school, it is important to recognize during the life of this Plan, the use will be ball fields not a school site.	Thank you for your feedback.  The designation of the facility will be updated to reflect the current and proposed future use of the facility.
4	Patrick Renckly	4816 Huisache Street	Resident	Phone Call (02/23/2018 at 11:33 am)	Which side of the street pathways will be on and will the City be paying for the pathways or will the homeowners on those streets be responsible for the pathways.	Thank you for your feedback.  The intent of this plan is mainly to identify pathway corridors with recommendations for width, accommodated users and location on the side of a street. Specific widths, type of pathway and location (side of street) will be identified during the detailed design for each pathway. It is intended that the pathways will be paid for and maintained by the City and not by the home owners whose houses are on the streets the pathways are located.
5	Nicholas E. Zito	750 Bering Drive, Suite 600 Houston, Texas 77057 (713) 266-0074 – Telephone (713) 266-1064 – Fax  nez@ramey-chandler.com	Resident	Email (02/26/2018 at 11:40 am)	Ayobamidele,  Who created the so called “survey”? Was City Council advised that 430 responses out of an estimated 18,000 residents in a city with approximately 6,000 homes is statistically insignificant?  Was any consideration given to the short survey time that many people in Southdale were dealing with flooded out homes and trying to deal with insurance adjusters and rebuild? You know 2400 homes flooded in Harvey at the end of August and most were in Southdale.  Were residents of the “quadrants” specifically asked questions about their interest in the so called 8’ pathways if they wanted one running through their yards?  Did you address parking since the “pathway” would encroach too far	Thank you for your feedback.  HR Green created the survey to understand how people use the existing pathways and what other pathways they would like the City to provide. Assuming one response per household, the survey response rate ( 430 resident out of the 440 respondents) represents approximately 7% of the households in the City (6,053 households per 2010 census). This response rate is typical for surveys of this nature (pathways surveys) hence statistically significant for its intended purposes.. The survey was initially intended to be active for 4 weeks, but it got extended to 6.5 weeks to allow more participation. Notices announcing the survey were sent to Bellaire residents via the City’s Notify Me system, newsflash to the City’s website, newsletters and through area school student folders. We also drew information from the City’s Comprehensive Plan, the Parks Master Plan as well as previous survey done within the City. The neighborhood meeting conducted for the project was also another avenue to provide feedback on the project.





					<p>into driveways on some of the streets proposed?            Explain the reference in your “report” to costs for obtaining ROW (right of way)?            Has there been any recommendations for applying eminent domain against existing residents property?</p>	<p>The result of our project and what we have provided so far are planning documents subject to modification during the actual design of each section of the pathway. The entire width of the proposed pathways is intended to be within City’s road ROW and not in resident’s properties. Although the survey did not specifically ask residents if they wanted the pathways on their street, the draft exhibits showing proposed pathways were published on the project website for comments and feedback during the survey. There were also open ended questions on the survey where residents were asked to provide streets they would like to see a pathway on. These individual feedback were used to revise the draft maps prior to the neighborhood meeting.</p> <p>With the pathways on the road ROW, it is not anticipated that parking on the private property side of the driveways will be affected. On street parking remains an option for residents who have shorter private driveways not long enough to fit a vehicle without encroaching on the proposed pathways.</p> <p>It is anticipated that as the design of each pathway gets underway, a full street ROW survey will be performed to identify and locate the existing features within the street ROW and determine the practicality of an 8’ wide shared used pathway (where proposed). For sections where an 8’ wide pathway is not feasible where proposed (for example, due to an existing fire hydrant, power pole or tree), the width may be reduced as appropriate. As earlier indicated, the entire width of the proposed pathways are intended to be within City’s road ROW so it is not intended that the City will be applying for eminent domain against residents.</p>
6	Nicholas E. Zito	751 Bering Drive, Suite 600 Houston, Texas 77057 (713) 266-0074 – Telephone (713) 266-1064 – Fax  nez@ramey-chandler.com	Resident	Email to City Mayor (02/26/2018 at 11:37 am)	<p>Imagine this going thru your yard on Baldwin.</p> <ol style="list-style-type: none"> <li>1. You can no longer park in your driveway;</li> <li>2. The “path” will have to be flat so the City will have to build a retaining wall from concrete in each yard to support your yard from eroding/collapsing; T</li> <li>3. Think about the new angle being added to your driveway-hope you don’t have a car with a close to the ground front end;</li> <li>4. Thank the City for causing more congestion on Baldwin due to the increase in the number of cars that will be parked in the street;</li> <li>5. Think how close “users” will be to your living room windows;</li> <li>6. Like the little patio you had on the Baldwin side of your house? Kiss it goodbye!</li> <li>7. That landscaping you spend so much on and really liked-it will be torn up along with trees in the path;</li> <li>8. The last City brainstorm project resulted in more flooding in Southdale, now they want to put in place more concrete.</li> <li>9. Isn’t our real concern in Southdale drainage and the risk of future floods?</li> <li>10. Check out the “survey stats”.               <ol style="list-style-type: none"> <li>a. Out of the estimated 18,000 residents, 430 responded to the survey;</li> <li>b. incredibly 3% of the respondents were between age 6 and 19;</li> </ol> </li> </ol>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50’. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident’s properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p> <p>However should a contiguous sidewalk or pathway be desired along Baldwin in the future, your concerns are addressed as follows:</p> <p>1. It is anticipated that as the design of each pathway gets underway, a full street ROW survey will be performed to identify and locate the existing features within the street ROW and determine the practicality of an 8’ wide shared used pathway (where proposed). For sections where an 8’ wide pathway is not feasible where proposed (for example, due to an existing fire hydrant, power pole or tree), the width may be reduced as appropriate. As earlier indicated, the entire width of the proposed pathways are</p>



				<p>c. many questions were answered by as few as 21 people;</p> <p>d. Actual stats were this:</p> <p>i. 430 give or take a couple, answered Q's 1-7;</p> <p>ii. Q's 8-16 were answered by approximately half of the participants;</p> <p>iii. Q's 17-24 were answered by 50 or less participants (runners);</p> <p>iv. Q's 25-33 were answered by approximately 80 people-bikers;</p> <p>v. Q's 33-39 were answered by 7 people;</p> <p>vi. Q's 40-41 were answered by 32 people;</p> <p>vii. Q 42 asked a general question on any other comments and was answered by 175 people.</p> <p>Problems with this survey</p> <p>-no one was asked to name the street they lived on;</p> <p>-no attempt was made to survey people by "quadrant";</p> <p>-no attempt was made to survey the people that actually live on Baldwin;</p> <p>-when the City conducted the limited survey, they knew that many of the residents who live along Baldwin or in the immediate area were pre-occupied (and still are) with attempting to recover from having their homes flooded out by Harvey; .</p> <p>-the survey contained built in bias in the manner the questions were asked;</p> <p>-the latest report suggests "a key component of this project was developing a sense of what the general public desires through the survey..."</p> <p>-did our elected officials take the time to really explain what they were up to?</p> <p>-the sidewalk issue was defeated a few years back and now it's back with a vengeance;</p>	<p>intended to be within City's road ROW. With the pathways on the road ROW, it is not anticipated that parking on the private property side of the driveways will be affected. On-street parking remains an option for residents who have shorter private driveways not long enough to fit a vehicle without encroaching on the proposed pathways.</p> <p>2. The elevation of the path will be addressed during design after the survey is done. A flat path is ideal however to accommodate elevation changes the recommended maximum slope of the pathway is 2%.</p> <p>3. The elevation of the path will be addressed during design after the survey is done. Driveway slope will be factored into design considerations during the design of the pathway.</p> <p>4. To reduce parking congestion on Baldwin Ave., on- street parking on streets perpendicular to Baldwin Ave. remains an option for residents who have shorter private driveways on Baldwin Ave. not long enough to fit a vehicle without encroaching on the proposed pathway.</p> <p>5. The pathway is anticipated to be within the road ROW hence users are not expected on private property.</p> <p>6. The pathway is anticipated to be within the road ROW hence no private patio/structures on private property are not expected to be affected by the pathways.</p> <p>7. The design of the proposed pathway will include efforts to salvage as much trees and large shrubbery within the road ROW as practical with the possibility of a narrower width through different sections of the pathway a possibility.</p> <p>8. Mitigation for additional impervious areas created by the pathways will be part of the design effort for each pathway prior to construction.</p> <p>9. This is outside the scope of work of the pathways projects, however the City is looking at ways to mitigate damages (flooding included) from future heavy rain events.</p> <p>10a. For surveys of this type and content, the number of respondents we got is in line with what is typical hence statistically significant for its intended purposes.</p> <p>10b. No response required.</p> <p>10c. The later part of the survey was set up so each respondent answered questions related to their current primary method of travelling on existing pathways (walk, jog, bike or other).</p> <p>10di. These are general questions.</p> <p>10dii. These are questions related to walking based on respondent's primary method of travelling.</p> <p>10diii. These are questions related to jogging based on respondent's primary method of travelling.</p> <p>10div. These are questions related to bicycling based on respondent's primary method of travelling.</p> <p>10dv. These are questions related to those who answered "other" as their primary method of travelling.</p> <p>10dvi. These are questions related to people who currently do not use the existing pathways.</p> <p>10dvii. No response required.</p>
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						<p>Problems with this survey</p> <ul style="list-style-type: none"><li>- While this question was not asked some people who felt comfortable providing their street names did so in the comments boxes throughout the survey. The streets people lived on did not affect the location of the proposed driveways. The driver for that was where people indicated they wanted pathways on.</li><li>- While this question was not asked, some people indicated if they were inside or outside the loop in the comments.</li><li>- No attempt was made to specifically survey residents who live on streets proposed to have a pathway. The survey and neighborhood meeting were intended to solicit feedback from all residents on the location of the proposed pathways. Additional opportunities for feedback and comments will also be provided during the design of each specific section of pathway prior to construction.</li><li>- The survey was initially intended to be active for 4 weeks, but it got extended to 6.5 weeks to allow more participation due to factors such as Hurricane Harvey and the holidays.</li><li>- The survey was created to understand how people use the existing pathways and what other pathways they would like the City to provide. Some of the survey comments indicate that some residents object to additional pathways in the City and used comment boxes to provide this feedback despite still answering questions about how they use the existing pathways.</li><li>- That was the intent of the survey.</li><li>- No response required.</li><li>- No response required.</li></ul>
7	Meredith Clarage James Clarage	4309 Darsey Street	Resident	Email (02/27/2018 at 5:57 pm)	<p>Dear City of Bellaire, The residents of the Southdale neighborhood voted several years ago (while planning for storm sewer replacement) that sidewalks are not needed along Baldwin Street. There is not enough room with all of the driveways, streetlights and electric poles. The street is not a through street. It is an interior subdivision street and there is no high speed traffic. My husband and I walk along Baldwin almost every evening and there is no need for sidewalks. Please look up the old survey from 2013-2014 or so.</p> <p>Dear City of Bellaire,</p> <p>Over six years ago the residents of the Southdale neighborhood voted against sidewalks along Baldwin. See article below (December 6, 2011). Sorry, I had the date wrong in my previous email.</p> <p><a href="http://www.instantnewsbellaire.com/no-sidewalks-here-council-approves-bid-for-baldwin-avenue-drainage-project/">http://www.instantnewsbellaire.com/no-sidewalks-here-council-approves-bid-for-baldwin-avenue-drainage-project/</a></p>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident's properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>



8	Larry Smith		Resident	Project Website (02/27/2018 at 10:13 pm)	<p>I was just made aware of this wasteful spending project that a minority of bellaire citizens are aware of. Being a flood victim, the last thing I can see spending my tax dollars on is more concrete and less earth to absorb the water. My wife and I are bike riders and feel safe on our streets. THIS PAROPOSAL IS JUST PLAIN WRONG!! What are you people thinking about. There are so many of us that are financially devastated by the flood. I have lived in Bellaire since 1959 watching taxes go up every year. This bike path boondoggle has me in fits. \$75,000 for a study?? You can tell when someone is spending someone else's money. Why not find a way for the city to help their citizens that flooded with tax breaks or refunds. But instead your spending the Bond \$\$ on more concrete that will cause more flooding. As you can tell I am very much against wasting money this way Also tearing up peoples yards by several feet is is heartbreaking, I am not affected by the paths or sidewalks, Just plain common sense tells me that this is not the time to do this with all the loss our city has suffered, I would like to see this path plan and sidewalk plan put to another vote, telling voters what they will have to endure if they vote yes to it Thank you for listening Larry W. Smith</p>	<p>Thank you for your feedback.</p> <p>City Council authorized the contract to proceed with the project prior to Hurricane Harvey based on recommendations from the City's Comprehensive Master Plan and the City's Parks Master Plan.</p> <p>While there are portions of this plan that cater to avid users and basic users, some of the planned pathways are intended to be used by basic users who do not feel comfortable using the road and prefer to be off the road. The entire width of the proposed pathways are intended to be within City's road ROW and not in resident's properties.</p> <p>The result of this project is a plan which when approved will serve as guidance document to the City for future implementation of the pathways. The City, based on availability of funds, will subsequently decide which pathways to implement and when to implement it.</p> <p>During the design of the each pathway, the impact of the additional impervious cover on the existing area drainage will be evaluated and any needed drainage mitigation implemented as part of the design project. In addition, there will be additional opportunity for community feedback during the design of each portion of the pathway.</p>
9	Carol Smith		Resident	Project Website (02/27/2018 at 10:13 pm)	<p>We are avid bike riders, riding every other day. YET, I am totally against this wasteful plant. Tearing up peoples yards, making people angry, is not the way to bring peace after Harvey. We definitely need this to be voted on before anyone proceeds with Any plan. There are 18,000 people in Bellaire who should have input into this. We are inundated with Flood problems - in my own home and many, many others. We hardly have time to fight such a wasteful plan We are trying to rebuilt. If you add more concrete to this city, we will just have more flood problems. Sunday was the first day my husband and I have heard about this plan. I would like to be proud of this city, but since Harvey I am not. Carol Smith</p>	<p>Thank you for your feedback.</p> <p>While there are portions of this plan that cater to avid users and basic users, some of the planned pathways are intended to be used by basic users who do not feel comfortable using the road and prefer to be off the road. The entire width of the proposed pathways is intended to be within City's road ROW and not in resident's properties.</p> <p>The result of this project is a plan to serve as guidance document to the City for future implementation of the pathways. The City, based on availability of funds, will subsequently decide which pathways to implement and when to implement it.</p> <p>During the design of the each pathway, the impact of the additional impervious cover on the existing area drainage will be evaluated and any needed drainage mitigation implemented as part of the design project. In addition, there will be additional opportunity for community feedback during the design of each portion of the pathway.</p>
10	Grace Stinebaugh		Resident	Email (02/28/2018 at 9:56 am)	<p>Hello.</p> <p>I would like to suggest that the small area of sidewalk between Bellaire Blvd and Pin Oak Estates Court be reviewed for safety concerns. This is a busy sidewalk now that Evelyn's Park is open. This area of sidewalk is dangerously narrow making it very scary to use with constant Bellaire Blvd traffic racing by. The surface is also unstable with a large mounted cable crossing into the walkway near the Bellaire Newcastle corner.</p>	<p>Thank you for your feedback.</p> <p>The correction of safety concerns (actual construction) is not in the scope of this project but the recommendation has been passed along to City's Public Works Staff for evaluation.</p>





					Many times I've seen someone hit this cable, especially in the evenings when it is dark and hard to see. I would also like to add that the sidewalks don't come to the corners on either side of Bellaire Blvd and Pin Oak Estates Court. Please consider correcting this safety concern.	
11	Nick D		Resident	Email (03/01/2018 at 1:20 pm)	I think the City of Bellaire should consider using passive flood breaks to be used as sidewalks. That should give some control of the flooding to remain on the streets and not rise to people's homes. <a href="http://floodbreak.com/about/">http://floodbreak.com/about/</a>	Thank you for your feedback.  This recommendation has been passed along to City's Public Works Staff for evaluation.
12	Rachael Le Gey		Resident	Project Website (03/01/2018 at 4:41 pm)	I disagree with adding paved sidewalk along Bellaire Boulevard. There are perfectly good paths in Paseo Park which already exist. Your proposed sidewalk/bike path goes right past my front door and it will require moving fire hydrants, light poles and trees. It adds concrete and prevents water absorption into the ground all this while there is a perfectly good pathway in Paseo Park not 20 yards away. This is a waste of money. Yes path users would have to cross at busy intersections but they would have to do this anyway even if there was a path on the north side of Bellaire boulevard.	Thank you for your feedback.  The initial idea was to keep pathway users from having to cross Bellaire Blvd. while using the Northwest Quadrant loop. The pathway proposed on the north side of the westbound side of Bellaire Blvd. has been removed to route the loop through the existing Paseo Park.
13	Jim Balogh	5019 Mayfair St. 4820 Bellaire Blvd.	Resident	Email (03/06/2018 at 1:32 pm)	I was asked to send you a comment as to Bellaire's proposal to improve the city with an overly ambitious expansion into bike and pathways. My first comment is that the people making this proposal must have lost their minds. Your first effort should be to give the homes in Bellaire a sidewalk each. This is a city without sidewalks, look at the map. You have to have sidewalks to expand them. No expansion of the system should be done or even proposed until the basic sidewalk system is provided to all homes in this "City of Homes". As an owner of two houses in Bellaire. Both without sidewalks on the front of either house, I am insulted by this proposal. The picture sent with the proposal of a sidewalk ending tells it all. As to bike and jogging paths along Bellaire Blvd, they already exist in Paseo Park. Use them, expand them, whatever. The currently are under-utilized with the exception of high rain water events when every high profile vehicle is allowed to drive on either side of the sidewalk and rut up the park.	Thank you for your feedback.  City Council and staff through different programs (as mentioned in the report) is in the process on ensuring that there is a contiguous sidewalk on at least one side of every street in the City. After this goal is achieved, the City Council may decide to extend this same thought process to cover both sides of the street. While that process is ongoing, City Council authorized this project to create a more comprehensive, highly utilized and connected pathways system for safe bicycle and pedestrian access and travel, within neighborhoods and between destinations throughout the City. The execution of this plan should not be seen as an impediment to City Council's goal of having a contiguous sidewalk on at least one side of every street in the City.  The idea to have a pathway proposed on the north side of the westbound side of Bellaire Blvd. was to keep pathway users from having to cross Bellaire Blvd while using the Northwest Quadrant loop. The pathway proposed on the north side of the westbound side of Bellaire Blvd. has been removed to route the loop through the existing Paseo Park.
14	Carol Smith	Mimosa St.	Resident	Email (03/06/2018 at 9:00 pm)	We understand you are the one to email about the bike pathway issue. We are Totally against any proposal about the bikeways. We, my husband and I, have emailed the council and mayor. The mayor responded rather distancing himself from this proposal. We are avid bike riders. Riding every other day, but Do NOT deem this a good proposal or idea. Tearing up our city - making people angry without the people voting and with only 440 people wanting this out of	Thank you for your feedback.  The main goal of this project is to create a more comprehensive, highly utilized and connected pathways system for safe bicycle and pedestrian access and travel, within neighborhoods and between destinations throughout the City. The proposed Bellaire Pathways system was intended to do that. The entire width of all the proposed pathways are intended to be within City's road ROW and not on resident's properties.



					<p>15,000 residents seems too much.</p> <p>We would consider widening the trail on Newcastle then working with Houston to connect a trail on Braes Bayou to be a good idea.</p> <p>Right now we are busy with rebuilding our home after the flood as are many residents. The trauma and devastation that the city has gone through makes this proposal very unconnected to what our city really needs at this time.</p> <p>This Should be the last thing on the city's agenda.</p> <p>Again, this is not anything near to a good idea.</p>	<p>The number of survey respondents (440) out of a little over 6,000 households is typical for a survey of this nature. Not all 440 survey respondent were in favor of the proposed plan but a majority favored it. In light of Hurricane Harvey and the holidays, the survey timeline was extended another 2 weeks to accommodate more respondents.</p> <p>The existing Newcastle Trail is not as easily accessible to residents without vehicular travel especially those West of I-610. Widening the existing Newcastle Trail does nothing to address this. There are portions of the proposed plan that focuses on tying into the existing and future pedestrian/bicycle plan as presented in the recently approved Houston Bike Plan and connections to other activities nodes outside of Bellaire. These include the Braes Bayou and the Utility Corridor Trail proposed to connect Memorial Park to Braes Bayou along the CenterPoint utility right of way.</p> <p>City Council authorized the contract to proceed with the project prior to Hurricane Harvey. The implementation (design and construction) and timing of any proposed pathways should the plan be approved would require a separate City Council approval and associated funding authorization. Currently no funding has been earmarked for the implementation of the proposed pathways.</p>
15	Larry Smith		Resident	Email (03/06/2018 at 9:41 pm)	<p>My wife and I understand that you are the driving force behind this plan to build bike pathways and sidewalks through different areas of Bellaire. I wish to express my shock and anger towards any city department official that would consider spending money on a program that would benefit so few while 25% of us are going through a stressful and expensive rebuilding after the flood.</p> <p>I don't think you have your hand on the pulse of the community by spending thousands of dollars on a study!! How much better to spend the money on flood control, larger sewers and emergency equipment. Tax rebates and credits towards property taxes would help those impacted by the flood much more than have a path to ride my bike or walk.</p> <p>Since this Pathway project has come more to light, I believe a groundswell of opposition will come against those who are for this unfeeling plan.</p> <p>Tearing up 8 to 10 feet of someone's property is also a cruel and vicious idea.</p> <p>This whole thing need to be openly presented and put to a vote by the citizens before any more money is spent on another study or approving the program.</p> <p>Regards a BELLAIRE homeowner since 1988 and raised in Bellaire</p>	<p>Thank you for your feedback.</p> <p>City Council authorized the contract to proceed with the project prior to Hurricane Harvey. The results of the plan when implemented are intended to benefit the residents of Bellaire as well as commuters through Bellaire. The implementation (design and construction) and timing of any proposed pathways should the plan be approved would require a separate City Council approval and associated funding authorization. Currently no funding has been earmarked for the implementation of the proposed pathways.</p> <p>The entire width of all the proposed pathways is intended to be within City's road ROW and not on resident's properties.</p>





16	Joan L. Gee		Resident	Email (03/08/2018 at 10:57 am)	<p>Hello Ayo,</p> <p>After reading the Community Pathway draft, I offer the following comments:</p> <p>1. It is my opinion the report is weighted heavily in favor of bike trails even though a very small percentage of the community wants or would use them. As I read the report, it appears that between 48 - 85 people actually requested the addition of bike trails in the City. This extremely small percentage of residents (and they may not all be residents of Bellaire) seems to have colored this report in their favor above the number of respondents (249) requesting neighborhood sidewalks in front of their homes. Many of my neighbors have asked why there is so much pressure being placed on adding 8' - 10' wide bike trails. As you mentioned, the city of Houston is not including bike trails in their capital budgets within the next 10 years. The adjacent communities are apparently not even considering adding bike trails. With these facts in mind, I would think this item would be given the lowest priority.</p> <p>2. Unless I am missing something in the report, the amount of concrete needed to add these paths to the City would only increase our drainage problems. The focus on a loop system with associated non-permeable surfaces, seems ill advised at this time when so much of the City flooded during Harvey.</p> <p>3. The report groups lighting with Recommendation #5 including signage, furnishings &amp; lighting. Public safety should be a top priority in our City and well lite paths should be given a much higher consideration. There are many areas in the City that need additional lights for the safety of the residents. This should be addressed before the City adds more seldom used sidewalks.</p>	<p>Thank you for your feedback.</p> <p>The Survey directed respondents to separate set of questions depending on current primary method of travel (walk, jog, bike or other). The majority of the proposed plan is geared toward basic users (pedestrians and bicyclists) who prefer to be off the roads. The proposed 6' or 8' wide "shared used trails" allows for a better experience for all basic users in both directions of travel. Signed Shared roadway is proposed along the same pathways for avid users who want to be on the road.</p> <p>The report indicates that the bike pathways in the Houston Bike Plan adjacent and adjoining Bellaire are not in the City of Houston's 10 year CIP and not that the City of Houston is not including bike trails in their capital budgets within the next 10 years. The report recommends that implementation of the pathways that would tie into those pathways be delayed to match the implementation of those adjoining projects by the City of Houston. This however does not prevent implementation of pathways within Bellaire for the use of Bellaire residents.</p> <p>The addition of any impervious surface will affect drainage patterns in the areas of the surface. The effect of the proposed pathways on drainage is not within the scope of this plan project, however, during the design (after City Council Authorization) of the each pathway, the impact of any additional impervious cover on the existing area drainage will be evaluated and any needed drainage mitigation implemented as part of the design project. This will be stated in the final plan report.</p> <p>These plan recommendations are in no order of priority however the proposed pathways as part of plan recommendation #2 were prioritized. As indicated in the report, some plan recommendations will need to be pursued in tandem while plan recommendation #6 will need to be designed and constructed using existing bond funding (BBB 2016 Group D Phase III sidewalks project).</p>
17	Joan L. Gee		PRAB	Email to Karl Miller (03/08/2018 at 10:11 am)	<p>I reviewed the draft Community Pathways report and found it informative but a bit confusing where references were made to the level of public response. The mixed use of percentages part of the time and actual number of people responding created some difficulties in my review. With that in mind, I would suggest including both pieces of information in the report and offer the following examples:</p> <p>1. Page 8 - chart Survey by Age - the chart contains % and number of respondents. It is confusing and I would suggest using both to help clarify (i.e. 21% = 94 respondents).</p> <p>2. Page 10 - Include the number of respondents in addition to showing the percentage of people that responded to the survey.</p> <p>3. Page 11 - Include the number of respondents that make up the percentages shown in the conclusions. (i.e. 91.82% = 404 people)</p>	<p>Thank you for your feedback.</p> <p>The charts have been revised to show either actual numbers or percentages.</p> <p>Noted text edit has been added.</p>



					<p>Additionally, on page 13, the last sentence on the page needs "of" added between "couple" and "transit".</p> <p>Sorry this is last minute, but hope it is helpful. Let me know if you have any questions or comments.</p>	
18	Susan Thacker	4325 Effie Street [REDACTED]	Resident	Email (03/08/2018 at 11:40 am)	<p>Dear Ayo,</p> <p>I am opposed to adding more cement to the City of Bellaire. We were flooded. I believe this is an unpopular idea among people who have been flooded. I've even heard suggestions at the flood meetings to purchase buildings for sale, such as the church at the corner of South Rice and Bellaire, and tear them down and put in retention ponds to increase green space and store water. Adding pathways would be directly against the movement to have more green areas.</p> <p>I plan to let my neighbors know about the pathway plan because I believe that they would be opposed if they knew about it.</p>	<p>Thank you for your feedback.</p> <p>The addition of any impervious surface will affect drainage patterns in the areas of the surface. The effect of the proposed pathways on drainage is not within the scope of this plan project, however, during the design (after City Council Authorization) of the each pathway, the impact of any additional impervious cover on the existing area drainage will be evaluated and any needed drainage mitigation implemented as part of the design project. Mitigation for the impervious cover addition will be based on the drainage requirements (part of recommendation of the flood mitigation task force) in effect at the time of design and construction.</p>
19	Ralph Cox		PRAB	Email to Karl Miller (03/08/2018 at 12:38 am)	<p>Karl,</p> <p>Seem to be having some issues with my personal account, let try this one.</p> <p>I have read the Pathways report and have a few comments. As I have stated previously, I am generally in favor of this project. Here are my questions and comments.</p> <ul style="list-style-type: none"><li>• The report is centered around the survey. There were 430 residents who responded to the survey. This is about 2.4% of the population. I'm not a statistician. Is this a reasonable sample size?</li><li>• Of the 440 total respondents, 90% said they already use existing pathways. Do they then provide a bias towards enhanced pathways? Does this really reflect the wishes of the overall population of Bellaire?</li><li>• Data from surveys can be interpreted in different ways. On page 11 there is a statement that " (71.9%) rate the existing pathways as average to very poor". Using the same data, one can conclude that 83% of the respondents rate the existing pathways as average to excellent. I am only pointing out that the same data can be used to draw different conclusions that are not necessarily supportive of the project. I suggest caution in drawing too many pointed conclusions from the data.</li><li>• I think the connection to Braes Bayou is a great idea</li><li>• I think the quadrant connection loop is a great idea</li><li>• 8 ft. wide shared use trails on residential streets should be</li></ul>	<p>Thank you for your feedback.</p> <p>The survey is an integral part of the report and plan. The survey results are generally in line with results of previous similar surveys conducted within the City. The number of survey respondents (440) out of a little over 6,000 households is typical for a survey of this nature.</p> <p>The width of the recommended pathways has been re-evaluated. The width recommendations for pathways on residential streets have been revised to still provide a better experience for basic users (pedestrians and bicyclists) in both directions of travel while recommending those streets be designated as Signed Shared Roadways to encourage motorists and the avid bicyclists to share the road and, most importantly, shows the cyclists where they are expected to ride on the road.</p> <p>The use of porous concrete and other porous alternatives on pathways while an attractive option to alleviate drainage impacts may present a higher initial construction and long term maintenance cost. Some of these types of materials require elaborate maintenance programs (vacuuming, jetting, etc.) to maintain the initial porosity of the material over time. However the use of suitable porous materials can be further explored during the design phase of each pathway to determine applicability. Recycled materials are listed under Pathway Surface Materials and can also be further explored during the design phase of each pathway.</p>





					<p>reconsidered. I think that residents are not going to like an 8 ft. wide sidewalk in front of their house. Full disclosure – I live on 2nd Street. I would not be happy with an 8ft. trail in front of my house. Consider 4 ft. sidewalks with a bike lane in the street</p> <ul style="list-style-type: none"> <li>• Per the report it seems that concrete is the preferred trail surface. I think alternative materials such as porous concrete or other alternatives should be considered. Less impervious surface area = better drainage. Should also consider recycled materials wherever possible to support recycling/sustainability.</li> <li>• The construction cost estimate should include engineering, legal, ROW acquisition, contingencies, etc. to reflect the total project cost, not just construction cost.</li> </ul> <p>Thanks for the opportunity to provide input.</p>	<p>The construction cost estimates of the pathways have been revised to include as much cost as practical to include at this planning stage.</p>
20	Charles Platt	4924 Beech Street	Resident	Email (03/08/2018 at 10:23 pm)	<p>Ayo:Here are some additional comments on the draft Pathways Plan ("Plan"), which I generally support.</p> <ol style="list-style-type: none"> <li>1. Flood mitigation will be a priority for Bellaire after the devastation caused by Hurricane Harvey. The Plan needs to recognize this at the outset. However, it is desirable when planning infrastructure projects to improve drainage and retention that the City incorporate Pathways considerations. For example, if the Flood Mitigation Plan includes new storm water conduits along South Rice, it would make sense to construct the bikepath at the same time. Also, we should explore the use of porous surfaces, such as special asphalt, so that we are not adding to the existing runoff that is already excessive in our City.</li> <li>2. The Bellaire Comprehensive Plan has some key language on bikepaths and sidewalks in Chapter 3 (Mobility) that should be quoted at the beginning of the Plan. The Comprehensive Plan was amended in 2017 before Harvey but is still applicable as an important document guiding City officials.</li> <li>3. The safety of walkers, joggers, bicyclists is paramount. For this reason, a separate bikepath for wheeled (non-motorized) vehicles should be constructed where feasible. Pedestrians and wheeled vehicles do not mix well and accidents will occur if they are on the same path. Similarly, bikes and cars need to be separated by small cones or other barriers on busy streets. A white line painted on the street is not a sufficient barrier in Houston, where motorists are generally not respectful of bicyclists.</li> <li>4. The cost of the Plan can be greatly reduced and must be if it is to command sufficient public and Council support. I agree that the Loop should be a priority with a separate bikepath and a separate sidewalk for walkers/joggers. However, we can minimize costs by employing signage on many streets where traffic is light. Portland, Oregon has many streets designated as bike friendly streets, and motorists are especially careful as a result when traveling on these shared roads.</li> </ol>	<p>Thank you for your feedback.</p> <p>Flood mitigation efforts as a result of the recent flooding events in the city as well as possible collaboration of flood mitigation and pathway effort has been acknowledged in the report.</p> <p>The use of porous concrete and other porous alternatives on all pathways may present a higher initial construction and long-term maintenance cost. Some of these types of materials require elaborate maintenance programs (vacuuming, jetting, etc.) to maintain the initial porosity of the material over time. However the use of suitable porous materials can be further explored during the design phase of each pathways to determine applicability.</p> <p>Applicable references to the Comprehensive Plan have been added. The majority of the proposed plan is geared toward basic users (pedestrians and bicyclists) who prefer to be off the roads. The proposed 8' wide "shared used trails" allows for a better experience for all basic users in both directions of travel. The width of the recommended pathways through residential streets have been re-evaluated. The width recommendations for pathways on residential streets have been revised to still provide a better experience for basic users (pedestrians and bicyclists) in both directions of travel while recommending those streets be designated as Signed Shared Roadways to encourage motorists and the avid bicyclists to share the road and, most importantly, shows the cyclists where they are expected to ride on the road. Although the cost estimates shown in the opinion of probable construction cost (OPCC) reflect a complete new construction, the report acknowledges that some sections of the loop system currently have sidewalks in relatively good condition and does not recommend immediate removal and replacement of those sections with the wider pathways. It is recommended that the City proceed with replacing those sections that need replacement and emphasis should be placed on establishing the loop system as soon as practical so residents can start using the loop system.</p>



					Second Street in Bellaire is a good example where this approach can be employed. On the other hand, few residents will be interested in bikepaths or sidewalks along the 610 feeder, so I would delete those or make them the lowest priority. Let me know if you have any questions or wish to discuss.	
21	Julie McNee		PRAB	Email to Karl Miller (03/09/2018 at 2:31 pm)	<p>Hi Heysel -</p> <p>I have a few comments on the pathways plan.</p> <ul style="list-style-type: none"><li>- They should define what "trail" means. Does that mean pavement/concrete, gravel, etc.?</li><li>- I didn't see it on the plan, but I think they should be specific regarding how wide the pathways will be in each section. For example, I believe they said the yellow areas will be roughly 8 feet wide, while the blue areas will be smaller?</li><li>- might want to add a statement in the plan to note how this plan relates to the overall sidewalks plan</li></ul>	<p>Thank you for your feedback.</p> <p>The word trail as used in the plan can be constructed with any material. A section under Plan Recommendation #2 describes possible pathway surface materials.</p> <p>The specific type of pathway, widths, and location (side of street) were intended to be finalized during the detailed design for each pathway when a road right of way survey is completed. However the plan has been updated to reflect what we think is feasible inside the road right of way without a road reconstruction or re-alignment or ROW acquisition for each pathway. It should be noted that should a road designated as a pathway corridor need complete reconstruction, the re-alignment of the road should be evaluated to accommodate as wide of a shared used pathways as possible.</p> <p>This was explored in Chapter 1 - Introduction. Additional language has been added to this section and where feasible in the report to tie this plan to the overall sidewalk plan.</p>





22	Lisa Lim		PRAB	Email to Karl Miller (03/09/2018 at 8:08 pm)	<p>Hi Karl,</p> <p>I'm not sure how much feedback or input you want but overall I like the thoughts around making Bellaire more pedestrian friendly and accommodating to bike riders and walkers. I think there is room for improvement in not only the accessibility for more residents to have pathways but also improving the conditions of the existing surfaces and adding lighting to walkways.</p> <p>I was noting a few things as I read through the draft...maybe some points to consider or clarification needed:</p> <ul style="list-style-type: none"><li>· New Home Construction – who is responsible for the sidewalks during the construction phase and how are they ensuring the sidewalks are consistent with the plans set by the city.</li><li>· Loop system within the four quadrants of Bellaire – I do like this idea but understand that certain quadrants may not (such as South dale). This may be something to consider by quadrant. I know a few residents are strongly opposed to making any sidewalk on Baldwin. However, in the northeast quadrant, I believe the residents would appreciate having their "own loop."</li></ul> <p>Regarding the different "plans," I like components of each. I like the focus on basic walkers and bicyclists since a majority of our residents fall in this category. I also like that they designate Newcastle as a shared pathway. I think it is wide enough be considered a shared pathway but hope they continue to expand the Newcastle pathway into one that continues around Bellaire (as a loop) instead of running only north and south. Regarding Plan recommendation #3, I'm not sure I understand the definition of a "complete street."</p> <p>As a parent I appreciate the Safe Routes to School (SRTS) and think the ideas recommended are great.</p> <p>Overall, I think the plan is good – creating a comprehensive pathway system for bikes and pedestrians to travel safely throughout the City. Sorry this is last minute! It's been a busier week than I thought it would be.</p>	<p>Thank you for your feedback.</p> <p>The contractor or homeowner of a new home construction is responsible for the construction of a sidewalk as part of the home building. The location and width of the sidewalk are reviewed by the City as part of the permitting process for the house to make sure that a sidewalk is constructed and consistent with City plans. After construction and acceptance, the City maintains the sidewalk.</p> <p>The plan for each quadrant has been revised based on feedback and new information brought up during the comment phase to the draft plan. The loop along Baldwin street has now been removed.</p> <p>The concept of "complete streets" involves the design of each road with all users (cars, bikes and pedestrians) in mind. Design concepts to take into consideration for "complete streets" are listed in the report. While this may not be feasible on established roads in good condition, this concept should be explored as roads in Bellaire need complete re-construction, to accommodate cars, bikes and pedestrians. This would further expand the proposed pathways.</p>
23	Terry Taylor	<a href="mailto:TTaylor@houstonmethodist.org">TTaylor@houstonmethodist.org</a>	Resident	Email (03/09/2018 at 10:24 pm)	<p>I have reviewed the proposed pathways along Bellaire Blvd from 610 to South Rice.</p> <p>I strongly suggest you reconsider the pathway along the north side at street level. It would be a lot safer to place the pathway within the adjacent park. Placing it at street level would be dangerous given the speed of traffic on Bellaire Blvd.</p> <p>It would be an better to place it on another street entirely, away from heavy traffic.</p>	<p>Thank you for your feedback.</p> <p>The idea to have a pathway proposed on the north side of the westbound side of Bellaire Blvd. was to keep pathway users from having to cross Bellaire Blvd. while using the Northwest Quadrant loop. The pathway proposed on the north side of the westbound side of Bellaire Blvd. has been removed to route the loop through the existing Paseo Park.</p>



24	Denise Leisten		PRAB	Email to Karl Miller (03/12/2018 at 1:48 pm)	<p>I have reviewed the City of Bellaire Community Pathways Plan (hereinafter referred to as "Proposed Pathways Plan" or "the Plan") and voice my complete objection to the Plan as part of the development of the City of Bellaire Parks plan. I find it an irresponsible waste of our city resources to entertain the Proposed Pathway Plan. I vehemently oppose any plan that advocates laying 8' wide paths of concrete in residential neighborhoods, especially in front of existing homes. It would turn our beautiful community into a concrete eyesore. While pathways down South Rice, Bellaire Blvd., Bissonnett, Chiney Rock, and/or Fournace may be aesthetically acceptable, placing 6' or 8' wide pathways on neighborhood streets such as Baldwin, Ave. B, Evergreen, Maple, Second Ave., Alder, Elm and/or Ferris is not. These neighborhood streets are not wide enough to soften or absorb the addition of 6' or 8' wide concrete pathways. Urban areas in Houston which have such 8' wide pathways do not run through the heart of communities. For example, Allen Park's pathways are completely contained within the park. None of the pathways run through the heart of the adjacent River Oaks neighborhood. Similarly, Memorial Park pathways are within the confines of Memorial Park, and do not run through the surrounding neighborhoods. The Braes Bayou Pathway certainly does not run through the neighborhood streets of Meyerland. Another example is the Katy Trail in Dallas, which begins at the border of the exclusive Highland Park neighborhood, and travels along Turtle Creek and through an abandoned railroad track/right of way away from single family residential neighborhoods and into commercial communities. Master planned suburban communities which were designed for these types of pathways, have taken into account the width of the streets and setback of the homes so that the pathways work within the overall design of the community. That is not the case for Bellaire or the Proposed Pathway Plan. While we have Newcastle Street with its 8' wide pathway, Newcastle Street appears to have been designed for such, as it is a very wide street with sufficient green space and drainage. The Bellaire Proposed Pathways Plan does not appear to take into account the impact on the aesthetics or drainage issues, and how the affected streets may need to be redesigned to allow an appealing pathway through the community. I walked/drove the entire route of the Proposed Pathway Plan. I note that hundreds of mature trees would have to be removed, again creating a displeasing effect on our City. Electrical, drainage, water services and fire hydrants would further have to be relocated. In order to have level pathways, the City would likely be required to build retaining walls on a substantial portion of the proposed pathways, as many of the lots along the routes were built up under the prior building codes, which would preclude a level pathway without retaining walls. While I understand that the Proposed Pathway</p>	<p>Thank you for your feedback.</p> <p>One of the main objective of this plan is create a more comprehensive, highly utilized and connected pathways system for safe bicycle and pedestrian access and travel, within neighborhoods and between destinations throughout the City which is different from the reason for establishing the pathways referenced in your comment. Those were meant to be contained within the parks to allow park users enjoy the park while exercising.</p> <p>This plan recognizes the geographical location of Bellaire as an enclave city which is almost fully developed with established road right of ways (which currently have established mature trees and utilities within it). The intent of this plan is mainly to identify pathway corridors with recommendations for width, accommodated users and location on the side of a street. The specific type of pathway, widths, and location (side of street) were intended to be finalized during the detailed design for each pathway when a road right of way survey is completed. However the plan has been updated to reflect what we think is feasible inside the road right of way without a road reconstruction or re-alignment or ROW acquisition for each pathway. It should be noted that should a road designated as a pathway corridor need complete reconstruction, we recommend that the re-alignment of the road should be evaluated to accommodate as wide of a shared used pathway as possible as was done in the case of the existing Newcastle Trail.</p>
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					<p>Plan has not yet entered design, these factors must be accounted for in proposing this project to City Council. These factors will greatly increase the projected cost to Bellaire taxpayers. In walking and/or driving the entire route of each of the proposed loops, I find it hard to believe that the company hired to develop the Plan did the same. Some of the routes, while looking “good” on paper, make no sense at all when you take into account the likely foot/bike traffic on those proposed pathways. Moreover, we clearly have had flood issues in the Bellaire community for the past several years. To approve any plan that adds concrete and takes away green space to our community, before tackling the drainage issues we face, is irresponsible government. I have spoken with many Bellaire residents to get a feel for what the people in the affected communities want. I encountered very few who want an 8' wide pathway down the proposed neighborhood streets. In fact, some of the homeowners, while in support of sidewalks in the affected areas, expressed complete and passionate opposition to this Proposed Pathway Plan. Perhaps we need to look at redirecting traffic patterns on the proposed neighborhood streets to make the neighborhood streets one-way traffic, utilizing a portion of the existing streets for bike and foot pathways. This would allow for a pathway plan to be implemented without pouring additional concrete or removing mature trees, landscaping and grass. All in all, I do not feel that the residents of Bellaire want to create a concrete jungle look in our Bellaire community. Bellaire is not a master planned community, and to attempt to retrofit it as such would not further the mission of the Parks and Recreation Department of the City of Bellaire. I signed onto the Parks Advisory Board because I love our greenspace and want to see us to maintain our beautiful Bellaire Parks. Our City resources need to be allocated to focus on and complete the plans that we have in place: Rebuilding Evergreen Park, completing the Holly Street project, lighting along existing pathways, and such. Feel free to contact me should you have any questions, comments, or need additional information.</p>	
25			P&Z	<p>Email to Ashley Parcus (03/8/2018 at 10:47 pm)</p>	<ul style="list-style-type: none"><li>• Why does the plan only include limited discussion of in-street bicycle mobility? The plan appears to discuss the broader concepts of pedestrian/bicycle options, but ends up focusing almost exclusively on sidewalks/pathways. For example, the graphics do not show bike-lanes, and the cost estimates include nothing for in-street facilities.</li><li>• The primary loop and pathways are supposed to be 8 feet wide. But current requirements/plans do not require/call for 8 foot wide pathways. How does the plan reconcile what they want to build, versus what is currently being built or would be required by current code?</li><li>• There appears to be no discussion about whether these pathways would be constructed within existing roadway ROW, easements on private property, or through the acquisition of ROW. This is a critical</li></ul>	<p>Thank you for your feedback.</p> <p>The intent of this plan is to identify pathway corridors for all users (pedestrians and bicyclists). The pathways (6' or 8' wide trails) are geared to basic user who are anticipated to the bulk of the users in Bellaire and prefer to be off the roads. Signed Shared roadways (in-street bicyclist options) where marked bike lanes currently do not exist are proposed along the same pathways for avid users who want to be on the road. The exhibits have been updated to reflect this. Signed shared roadways do not cost as much and can easily be implemented without large CIP funding allocations as would be required for the pathways (6' or 8' wide trails). Plan recommendation #2 implores the City to formalize and implement pathway design standards for bicyclists and pedestrians on the shared use pathway corridors identified</p>



				<p>question when it comes to public acceptance. Is there sufficient ROW to accommodate an 8-10 foot pathway with shoulders? How do residents feel about giving up that much space (potentially up to 15-20 feet) out of their front yards?</p> <ul style="list-style-type: none"><li>• There are no renderings or cross sections showing what these pathways would actually look like. Inclusion of renderings or illustrative street cross sections should be required. Otherwise, it is hard for stakeholders understand what they are agreeing or supporting as part of this plan.</li><li>• It is really not clear if Bellaire currently has the ROW to be able to construct such paths. There are various references to additional ROW needs. Acquisition of ROW could be a major challenge to the implementation of such a plan.</li><li>• The cost estimate is very incomplete. Approval of this plan requires buying into an estimated cost of implementing this plan. However, the cost estimate admittedly does not include ROW acquisition, utility relocations, landscaping, soft costs, etc. This could easily double or triple the cost of implementation, compared to what is shown. The consultant should estimate the total project cost, so the tax payer / City leadership better understands what the potential costs would be of implementing this plan.</li><li>• Why are Priority 4 projects shown as 4' sidewalks in the cost estimate? Doesn't this plan recommend wider sidewalks? I recognize it is just a rough estimate, but does the cost estimate need to include crossings, major intersection / underpass improvements, etc. The cost estimate does not include any estimates for in-street bike lanes or other safety enhancements. Is it fair to present an OPCC which only covers a subset of the activities proposed in the plan?</li><li>• Question – the cost spreadsheet provided for the Group D Phase III sidewalk program is \$95 per linear foot. But by my calculation, the unit cost of sidewalk included in the Pathway Plan and Loop System OPCC is \$64 per linear foot. Doesn't that seem incorrect that your more elaborate pathway system is estimated as approximately 50% less than the more detailed cost estimate you have for the existing sidewalk program? It is possible I am missing something, but the cost numbers don't reconcile.</li><li>• There is no discussion of maintenance responsibility or costs. Will the City maintain all of these pathways? Or will the individual homeowners be responsible for the maintenance/upkeep of the pathway on their property? This seems like a key question that needs to be discussed and clarified. First, if the individual property owner is responsible, they should know ahead of time. That would also make landscaping or other amenity features hard to implement, if it was being maintained piecemeal by property owners. Can the City please confirm who is</li></ul>	<p>in the exhibits. This could require existing Ordinances to be revised as appropriate and desired. They can also be scoped into the project or with a development.</p> <p>The entire width of the proposed pathways are intended to be within City's road ROW and not in resident's properties. The specific type of pathway, widths, and location (side of street) were intended to be finalized during the detailed design for each pathway when a road right of way survey is completed. However the plan has been updated to reflect what we think is feasible inside the road right of way without a road reconstruction or re-alignment or ROW acquisition for each pathway. It should be noted that should a road designated as a pathway corridor need complete reconstruction, we recommend that the re-alignment of the road should be evaluated to accommodate as wide of a shared used pathway as possible as was done in the case of the existing Newcastle Trail.</p> <p>Typical cross sections showing the pathways within the road ROW has been added to the report as an appendix (Exhibit E).</p> <p>The construction cost estimates of the pathways have been revised to include as much cost as practical to include at this planning stage. Priority 4 projects are proposed pathways along major road corridors without contiguous sidewalks so these fill in the sidewalk gaps along those streets. The recommended width matches the current sidewalk width on those streets.</p> <p>The City currently uses a \$95/LF cost estimate as a turnkey cost for 4' wide sidewalks as part of the current BBB 2016 projects hence the use of that number for the Group D Phase III recommended project. However, the initial cost estimates of the recommended pathways as part of this plan only covered the construction cost of the pathways itself as there are several items (signage, theme, beautification, lighting, finishings, etc.) that were not included as they were not covered under this planning phase effort. These costs can vary significantly based on the City's desire. Plan recommendation #5 addresses this issue by imploring the City to standardize these items so the design engineer for those projects can better define a more inclusive cost estimate. The construction cost estimates of the pathways have been revised to include as much cost as practical to include at this planning stage.</p> <p>The maintenance of the proposed pathways will become the responsibility of the City similar to the current pathways. The cost of the maintenance can be funded under the City's Pavement Management Plan with priority given to more travelled pathways and those that pose more of a safety risk to users.</p>
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					<p>responsible for the upkeep/replacement of sidewalks currently being constructed throughout Bellaire?</p> <ul style="list-style-type: none"> <li>• Even if maintenance is ultimately the responsibility of the City, an estimated maintenance cost should be provided. By building this system, the City would be committing to maintaining it which could be very expensive. Not discussing maintenance responsibilities and costs would seem to present a very incomplete picture of how this effort could impact the City's budget. Is the city ready for those costs? What is the expected lifespan of these pathways? How often would they have to be re-built? Remember, that uneven sidewalks are the biggest deterrent to the use of sidewalks.</li> <li>• If the sidewalks for the secondary loops in the city are planned for 6' to 8' trails and we know they will probably end up less than that in design and construction, then why don't we just show the actual sidewalk width we think the plan should be.</li> </ul>	
26	Saira George Toby Yaltho	5116 Pocahontas street... Moving to 5314 Maple St.	Resident	Email (03/18/2018 at 1:48 pm)	<p>Hi - We are Bellaire residents and were given this email address to submit comments regarding the Pathways plan.</p> <p>Could the proposed sidewalk on Maple outside Chimney Rock (SW corner, below) be developed on the current existing esplanade? It would spare costs of digging up the existing yards, repairing driveways, and cutting down valuable trees etc in front of the Braeburn Estate homes there. Instead funds/effort could be redirected to a lower cost/less destructive pea gravel pathway along already available space in the esplanade.</p> <p>If the esplanade belongs to the City of Houston, it would be a nice joint project for shared costs/benefits since that stretch will likely be used by both Bellaire and Houston residents and would be an easy opportunity to convert an existing structure into a beautiful space for local residents esp if it could be developed like the Holly St esplanade which is one of the most used pathway spaces in Bellaire.</p> <p>If any assistance or input from the residents on that stretch of Maple would help, please let me know and I am happy to try to organize ... (Like an option for a joint citizen-city project, like Houston's Adopt an Esplanade?). I think you would find only great support from residents on Maple St. and elsewhere in Bellaire.</p>	<p>Thank you for your feedback.</p> <p>That section of pathway has now been identified to have a 6' wide pathway with a shared signed road for avid bicyclists.</p> <p>During the design phase (after plan approval) of each pathway, as much effort would be made to route the pathway to avoid the need to cut down mature trees.</p> <p>The referenced esplanade is within the City of Houston right of way and has a lot of younger trees with very low hanging branches which would need to be trimmed should the pathway be rerouted there. The Reference Holly St. trail has more mature trees (and a few recently planted younger trees) which do not affect pedestrian travel on either side of the trees.</p> <p>The use of pea gravel while cheaper to install presents more maintenance and a high cost long term and these would need to be replaced more frequently as they easily get washed away during heavy rain events.</p> <p>In addition, the Houston side of Maple St. from Renwick St. to Chimney Rock Rd. currently has a contiguous sidewalk installed which could make it a tough sell to the City of Houston from both a construction and maintenance standpoint.</p>
27	Garima Jain	[REDACTED]	Resident	Project Website (04/25/2018 at 1:29 pm)	<p>I am particularly not in favor of 8' wide side walk on Baldwin. ( priority 2 ) for following reasons:</p> <ol style="list-style-type: none"> <li>1. Baldwin is a dead end road that doesn't have a continued flow of traffic. People use this street as a pathway to begin with as it does not have traffic.</li> <li>2. If pathways are constructed on Baldwin, people will not be able to</li> </ol>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without</p>



					<p>park their cars on driveways. This will lead to more parked cars on street which is counterproductive.</p> <p>3. More concrete is the last thing the neighborhood needs with severe drainage issue.</p> <p>4. On Baldwin side the plot sizes are smaller and do not have room to give away to sidewalks.</p> <p>5. The plan proposed for Baldwin st. Does not address how it will manage the utility poles that will be interruption the prposed side walks.</p>	<p>realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident’s properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>
28	Rakesh Patel	██████████ ████	Resident	Email to Paul Hofmann (04/25/2018 at 2:03 pm)	<p>Dear Mr. Hofmann,</p> <p>I am a new resident of Bellaire (have owned my home for about a year now).</p> <p>I have a question for you regarding the proposed bike paths throughout Bellaire - specifically Baldwin St. In speaking with some of my neighbors a couple of them have mentioned that this comes up every couple years but gets pushed back.</p> <p>What is the current status? I personally do not want this. My home sits right across from Lafayette park and I honestly do not have 8 ft of available lawn that could be taken up by a sidewalk as I have a fenced in patio. Furthermore, my house flooded along with many others on Baldwin during Harvey and I have serious concerns about more concrete. A better use of city funds would be to use it on drainage or speed bumps in my opinion.</p> <p>Regards, Rakesh Patel</p>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50’. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident’s properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>
29	Molly Urbani	██████████ ████	Resident	Email to Paul Hofmann (04/25/2018 at 7:04 pm)	<p>Hello Mr. Hofmann,</p> <p>I would like to express my disappointment in the City of Bellaire of wanting to build wide bike paths along Baldwin. The lots are extremely small here. It seems unfair to the homeowners. Additionally, we already have the great path on Newcastle.</p> <p>Most importantly, our financial resources need put toward drainage systems. We, along with so many Southdale residents, flooded. We do not want to flood again. We value this city, and desire the city to come alongside us in fixing the drainage issues.</p> <p>Thank you for reading this email.</p> <p>With a grateful heart, Molly Urbani</p>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50’. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident’s properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>
30	Subha	██████████ ████	Resident	Project Website (04/27/2018 at 9:24 am)	<p>We are not in favor of the proposed sidewalk changes. This will increase drainage problems and reduce greenspace. Thanks, Subha</p>	<p>Thank you for your feedback.</p> <p>During the design of the each pathway, the impact of the additional impervious cover on the existing area drainage will be evaluated and any needed drainage mitigation implemented as part of the design project.</p>





31	Sarah Vega	[REDACTED]	Resident	Project Website (04/27/2018 at 2:07 pm)	I do not want any bike/hike paths or sidewalks installed on Baldwin or Lafayette St. These lots are already small, and the existing Newcastle trail is adequate. I would prefer that any money set aside for paths or sidewalks be re-allocated to improving drainage and infrastructure for the Southdale neighborhood and the city of Bellaire.	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident's properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>
32	Kimberly Copeland	[REDACTED]	Resident	Project Website (04/28/2018 at 10:45 am)	I am strongly in favor of the pathways program. A bike lane, particularly on Baldwin, would ease traffic on the Newcastle pedestrian pathway and make it safer for us to enjoy our community.	<p>Thank you for your feedback.</p> <p>However, after reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident's properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p> <p>Your commendation for a bike lane on Baldwin has been passed along to City's Public Works Staff for evaluation.</p>
33	Mrs. Cindy Brown 4536 Birch St. Bellaire, TX 77401 713 668 8034	[REDACTED]	Resident	Project Website (04/28/2018 at 10:59 am)	Dear City of Bellaire, I would like to post my strong objections to the new pathways project as proposed for the section down Ave B from Bellaire to Mimosa St. and offer some alternative ideas to reach the objectives as stated. I do not support the removal of numerous mature trees. These trees give Bellaire character and their removal will decrease overall desirability of Bellaire as well as greatly reducing the property value where they have been needlessly removed. Before any major change of this type is enacted, the residents along the path should be notified individually by mail and invited to participate in a public forum. The one opportunity of this type was not directly advertised, few people knew of it, and as a result was poorly attended. It is illegal to ride bicycles on sidewalks. A complete safety analysis and a cost to benefit analysis needs to be conducted prior to authorizing expenditures for \$8M of alterations that hurt some homeowners while marginally improving conditions for others. The primary danger to cyclists and pedestrians occurs at intersections. An 8 foot wide bike path does not eliminate the intersections and driveways, but reducing automobile speeding and enforcing full stops at stop signs in the city would be of great benefit. To	<p>Thank you for your feedback.</p> <p>That section of pathway has now been identified to have a 6' wide pathway with a shared signed road for avid bicyclists.</p> <p>During the design phase (after plan approval) of each pathway, as much effort would be made to route the pathway to avoid the need to cut down mature trees or relocate utilities. At that time, there will also be additional opportunity for community feedback via public review and a neighborhood meeting. This would allow for residents to provide specific feedback and input as it relates to him/her.</p> <p>Suggested recommendations to improve pedestrian and bicyclist safety are included in the report.</p> <p>Your recommendations have been passed along to City's Public Works Staff for evaluation.</p> <p>The adoption and implementation of this plan does not preclude the City from ensuring that there is a contiguous sidewalk on at least one side of every street in the City and</p>



					<p>reduce speeding, install additional radar signs that show drivers their actual speed versus the posted speed limit and enforce. To improve full stops at stop signs, clearly mark the stop line at all intersections and enforce full stops. There already exists an 8 foot wide trail running along Newcastle. To spend taxpayer dollars to install a similar pathway just one block over (Ave B or Baldwin), is not an efficient use of resources. If children need a safe route to Horn Elementary school, they can travel down Newcastle and approach Horn on Pine or Holly. The main issue for pedestrians seems to be the East-West streets where sidewalks are spotty. Here a focus should be on connecting the sidewalks on at least one side of the street to provide pedestrians passage. 86% of cyclists in Bellaire are trying to reach Braes Bayou. With that overwhelming need identified, a solution that would benefit more people would be to work with the City of Houston to provide a safer route from the Newcastle trail to Braes Bayou, which would also connect Bellaire to Hermann Park.</p> <p>Sincerely, Cindy Brown</p>	<p>should not be seen as such.</p> <p>Conversations are ongoing with the City of Houston to connect the Existing Newcastle Trail to Brays Bayou. This is reflected in the report.</p>
34	<p>Algernon Brown 4536 Birch St. Bellaire, TX 77401 713 668 8034</p>	<p>██████████ ██████████</p>	Resident	<p>Project Website (04/28/2018 at 11:25 am)</p>	<p>Dear City of Bellaire,</p> <p>I would like to comment on the proposed jogging and bike path along Avenue B, between Bellaire Blvd and Mimosa. I have lived in Bellaire for most of my life, and I feel strongly that this pathway, as proposed would be a big mistake. I do not believe that an adequate assessment has been made of the disruption and loss of mature trees that would occur in order to install a wide jogging and/or bike path. On the east side of Ave B, from Bellaire to Mimosa, I was able to count 11 live oaks, 7 water oaks, 1 giant magnolia tree, 4 maple trees, 5 elms, 1 birch tree, 1 giant crepe myrtle and at least 6 other mature trees that would need to be destroyed to accommodate the path. This is in addition to more than 10 major utility poles that would need to be relocated. On the west side of Ave B, down this same stretch, there are 3 live oaks, 2 water oaks, 1 burr oak, 5 pecan trees, 10 crepe myrtles, 3 elms and at least 3 other mature trees, along with over 22 utility poles that would have to be removed or relocated. I cannot imagine that it would be worth it to tear down these trees, some of which have been growing for over 50 years, just to provide a jogging path that is one block over from the existing Newcastle jogging path.</p> <p>Regards, Algernon Brown</p>	<p>Thank you for your feedback.</p> <p>That section of pathway has now been identified to have a 6' wide pathway with a shared signed road for avid bicyclists.</p> <p>During the design phase (after plan approval) of each pathway, as much effort would be made to route the pathway to avoid the need to cut down mature trees or relocate utilities. At that time, there will also be additional opportunity for community feedback via public review and a neighborhood meeting. This would allow for residents to provide specific feedback and input as it relates to him/her.</p>
35	<p>Keith Eggleston</p>	<p>██████████ ██████████</p>	Resident	<p>Project Website (04/28/2018 at 11:57 am)</p>	<p>I'm very much for increasing lengths, widths, and safety features, of pedestrian and bicycle pathways. Since Baldwin Street has been removed pathway consideration, please add informational and safety signage to increase awareness of shared use with bicycles and pedestrians.</p>	<p>Thank you for your feedback.</p> <p>Suggested recommendations to improve pedestrian and bicyclist safety are included in the report.</p>





36	Sherry Noblett 608 Mulberry Ln. Bellaire, TX	[REDACTED]	Resident	Email to City council and Paul Hofmann (04/30/2018 at 10:08 pm)	<p>Dear Mayor, City Council Members, and City Manager,</p> <p>Residents on Mulberry Ln are concerned about the proposed Community Pathways Plan on our street. Not only do we have some very old and valuable trees, but we also have numerous utility poles, lines, boxes, meters. The Newcastle trails are only 1 block west and 8' trails on Mulberry Ln would be redundant.</p> <p>Spending city money on an amenity seems to be fiscally irresponsible given the basic safety and security needs of the community caused by Hurricane Harvey. The city's spending priority should be to solve the infrastructure issue underlying flooding.</p> <p>Respectfully, Sherry &amp; Ron Noblett</p>	<p>Thank you for your feedback.</p> <p>The Community Pathways Plan is intended to serve as a living document to guide the City as it relates to future planning and implementation of a Citywide network of connected bicycle-pedestrian infrastructure. The plan acknowledges that some of the streets on the plan have relatively new and good functioning sidewalks so does not advocate for replacing those but places an emphasis on establishing as much of the network as practical in the meantime so residents can start using the connected network and upgrade the condition and width of the pathways as needed (future road reconstruction projects or pathway specific projects) or desired by the City.</p> <p>The current version of the exhibit in your email now shows a 6' wide trail along Mulberry Lane to serve as part of the northeast loop. This takes into consideration your valid concerns about the trees, utility poles, lines, boxes and meters as well as the apparent road Right-Of-Way (ROW) width along the entire proposed pathway on Mulberry Lane. All proposed pathways are intended to fit within the road ROW along with the existing utilities, trees, etc. As each section(s) of the pathways are selected for construction/upgrade, the specifics relative to location and placement of the pathway will be finalized during the design phase on that pathway(s). In addition, the project would be subject to public review and a neighborhood meeting. This would allow for resident to provide specific feedback and input as it relates to him/her.</p>
37	Cary Gentry	[REDACTED]	Resident	Project Website (04/30/2018 at 10:11 pm)	<p>When will the final plan be released? Will there be another meeting prior to the final plan being released? If so, when? Where can we get more details on the priority 2 neighborhood loops... specifically Ave B. In my opinion the sidewalks on Ave B are fine and the way I read the plan is that it calls for 8' paths. The Newcastle path is one block to the east and it does not make sense to me to destroy trees, landscaping, &amp; spend money etc on Ave B between Evergreen and Mimosa.</p>	<p>Thank you for your feedback.</p> <p>No additional meeting is planned prior to the release of the final plans.</p> <p>That section of pathway has now been identified to have a 6' wide pathway with a shared signed road for avid bicyclists.</p> <p>During the design phase (after plan approval) of each pathway, as much effort would be made to route the pathway to avoid the need to cut down mature trees or relocate utilities. At that time, there will also be additional opportunity for community feedback via public review and a neighborhood meeting. This would allow for residents to provide specific feedback and input as it relates to him/her.</p>
38	Cornelia Kueffner	[REDACTED]	Resident	Project Website (05/04/2018 at 11:11 am)	<p>I think it's wonderful that you want to invest into foot traffic on Baldwin. But the downside would be even more concrete and with our recent flooding that's the last thing we need. That's why I propose more Stop signs instead. I'm jogging on Baldwin every morning during the week and notice that some cars try to avoid the school zone and are too much in a hurry. On Baldwin there are only a few stop signs. If you would add another 3 or 4 signs and maybe in addition reduce the speed, you could save money on an extra foot path and residents who don't have to tolerate a path way next to their property would be happy too.</p>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident's properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p>



						Your recommendations have been passed along to City's Public Works Staff for evaluation.
39	Camile Brinkmann		Resident	Project Website (06/06/2018 at 2:07 pm)	<p>Dear City Council,</p> <p>I live along Baldwin and am against a sidewalk/bike path along Baldwin. Since Baldwin is not a through street, the traffic is primarily local and so is generally light. The street itself is a nice wide "pathway" and so is very attractive to pedestrians, joggers and bicyclists. A sidewalk would not be used and in effect, would reduce green areas that absorb rainfall. It will also remove attractive landscaping and much needed shade trees that beautify Baldwin. Regarding safety, a sidewalk places pedestrian and bicyclists closer to garages that face Baldwin, and may actually increase the potential for them to be hidden from drivers exiting their garages. I believe that safety would be better served by making all intersections on Baldwin 4-way stops, thus slowing traffic and discouraging non-local traffic.</p>	<p>Thank you for your feedback.</p> <p>After reviewing feedback from residents, additional apparent ROW review through HCAD maps and review of the Baldwin road reconstruction was done. This showed that the road ROW is 50'. As the pathways as originally shown were intended to be within the road ROW, there was not enough room to fit the proposed pathways without realigning the road (similar to the Newcastle Trail) which is relatively new and in good condition. The intent was not to have the pathways on resident's properties. Hence the pathway along Baldwin was removed and the loop routed along the existing Newcastle trail. This decision also accounts for the existing conflicts (trees, utilities) currently located in the road ROW.</p> <p>Your recommendations have been passed along to City's Public Works Staff for evaluation.</p>



# City of Bellaire



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**Planning and Zoning  
Commission**

Council Chamber, First Floor of City Hall  
Bellaire, TX 77401-4411



Meeting: 07/12/18 06:00 PM  
Department: Development Services  
Category: Policy  
Department Head: ChaVonne Sampson  
DOC ID: 2587

**SCHEDULED****ACTION ITEM (ID # 2587)**

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**Item Title:**

Adoption of the Rules of Procedure

**Background/Summary:**

The Commission is required to adopt the Rules of Procedure at the beginning of each new term.

A copy of the current rules are attached.

**ATTACHMENTS:**

- 2017-2018 Rules of Procedure (PDF)





**Rules of Procedure**  
**Planning and Zoning Commission**  
**City of Bellaire, Texas**  
**2017-2018 Term**

Adopted: July 2017  
Amended: August 2017



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## Article I Purpose and Enabling Authority

### Section A General

The Planning and Zoning Commission of the City of Bellaire, Texas (the“Commission”) is an advisory body to the City Council regarding Zoning and subdivision regulations. The Commission is also responsible for the review and approval/rejection of Plats and for making recommendations to the City Council regarding plans for the physical development of the City.

The existence of the Commission is governed by state and local laws. These include, but are not limited to:

- Texas Local Government Code, Chapter 171, *Regulation of Conflicts of Interest of Officers of Municipalities, Counties and Certain Other Governments*
- Texas Local Government Code, Chapter 211, *Municipal Zoning Authority*
- Texas Local Government Code, Chapter 212, *Municipal Regulation of Subdivisions and Property Development*
- Texas Government Code, Chapter 551, *Open Meetings Law*
- Texas Government Code, Chapter 552, *Public Information*
- Bellaire Code of Ordinances, Chapter 2, Article VI, *Code of Ethics*
- Bellaire Code of Ordinances, Chapter 2, Article VII, *Boards, Commissions and Committees*
- Bellaire Code of Ordinances, Chapter 23.5, *Land Subdivision Regulations*
- Bellaire Code of Ordinances, Chapter 24, *Planning and Zoning*

### Section B Advisory Role

Actions taken by the Commission in its advisory role are in the form of recommendations to the City Council. Such actions include, but are not limited to:

- Responding to requests from the City Council, the Staff Liaison, or City Manager.
- Reviewing the Comprehensive Plan and reporting on such review to the City Council.
- Recommending amendments to the Code of Ordinances concerning matters involving land use regulations and the future growth and regulation of the City.
- Considering Applications brought before the Commission for planned developments, Specific Uses, permitted uses, or other amendments to Zoning regulations or the official Zoning District Map as provided by the Code of Ordinances.
- To identify and explore community needs for such things as, commercial re-development, city beautification projects, and other



planning and development ideas that build on the goals of the Comprehensive Plan, and bring such ideas to the attention of City Council.

- Annually reporting to the City Council the Commission's needs, accomplishments, and recommendations.

In its advisory role, the Commission communicates with the City Council by requesting that the City Manager, Mayor, or any Council Member place an appropriate item on a City Council meeting Agenda and, if warranted, in writing. When appropriate, the Commission should request an opportunity to present information at a regular meeting of the City Council or other appropriate venue. Successive applications by the same party on the same subject matter shall be governed by the Code of Ordinances.

### **Section C      Administrative Role**

The City Council has specifically delegated exclusive authority to the Commission for the review and approval/rejection of Plats. Actions by the Commission regarding Plats are final and cannot be appealed to the City Council, but may be appealed to other judicial authorities. The authority delegated to the Commission includes, but is not limited to:

- Applications for a preliminary Plat
- Applications for a final Plat
- Applications for a preliminary Replat
- Applications for a final Replat
- Applications for an Amending Plat

The City Council has specifically delegated review and advisory authority to the Commission for Specific Use Permits (SUP), however, final approval of the SUP lies with City Council.

No formal requests for advice or moot questions will be considered by the Commission. Any advice, opinion or information given by any Commissioner or by the Secretary or any other official or employee of the City of Bellaire shall not be binding on the Commission.

## **Article II      Definitions**

### **Agenda**

A document listing and describing items of business and other matters to be addressed at a meeting of the Commission, duly established and published in accordance with the Open Meetings Act, Chapter 551 of the Texas Government Code.

### **Amending Plat**

A modification of an existing Plat that is controlling over the preceding plat without vacating that plat, pursuant to Texas Local Government Code, Chapter 212. In the case of an Amending Plat governed by Texas Local Government Code, subsections



212.016(a)(7, 9, 10 or 11), such Amending Plat may not amend or remove existing covenants or Deed Restrictions. Notice, a hearing, and the approval of other lot owners are not required for the approval and issuance of an Amending Plat. See also Replat and Plat.

### **Applicant**

A person or entity (or the duly appointed agent or representative of a person or entity), that presents to the Commission an Application for action or decision within the authority of the Commission.

### **Application**

A request made to the Commission for action or decision within the authority of the Commission that is presented in compliance with the Code of Ordinances and the requirements of the Development Services Department of the City.

### **City**

The City of Bellaire, Texas.

### **Commissioner**

A person duly appointed by the City Council to serve on the Commission in accordance with Section 24-302 of the Code of Ordinances.

### **Committee**

A group appointed by the Chair to address a specific issue of interest to the Commission. Committees may be composed of Commissioners and/or other persons with helpful knowledge or expertise. Committees shall not include any number of Commissioners that would constitute a Quorum of the Commission.

### **Comprehensive Plan**

A present statement of policy and a guide for future land use decisions, adopted as an ordinance by the City. See Section 24-401 of the Code of Ordinances; 24-403 (Official Zoning District Map).

### **Council Liaison**

A member of City Council, appointed by City Council, to act as a facilitator between the Commission and City Council.

### **Current Business**

Any matter that is on the Agenda to be addressed at a Regular Meeting or Special Meeting of the Commission, for consideration and possible action at such meeting.

### **Deed Restrictions**

An existing and valid recorded covenant or restriction affecting the use of a property. The Commission may not approve a Replat, or an Amending Plat governed by Texas



Local Government Code, Section 212.016(a)(10), if such approval would result in the amendment or removal of a Deed Restriction.

### **Easement**

The lawful right that one person or entity has to use the property of another person or entity, for a specific or general purpose, for a definite or indefinite term, as further defined in Chapter 24 of the Code of Ordinances.

### **New Business**

Any matter to be considered for inclusion as Current Business on the Agenda of a future Regular Meeting or Special Meeting of the Commission. No action may be taken on New Business, other than to designate it as Current Business on the Agenda of a future Regular Meeting or Special Meeting of the Commission, to be properly noticed in accordance with the Open Meetings Act, Chapter 551 of the Texas Government Code. New Business may also be designated as the subject of a future Commission Workshop.

### **Plat**

A document, which may include a graphic description of a tract of land by metes and bounds, giving the dimensions of all Easements, setbacks, subdivision names, streets, alleys, squares, parks and other public areas, and giving the dimensions of all lots or tracts contained therein, pursuant to Texas Local Government Code, Chapter 212 and the Code of Ordinances. The Commission is not permitted to consider existing covenants or Deed Restrictions when considering a request for approval of a Plat. See also Amending Plat and Replat.

### **Public Hearing**

A meeting or an Agenda item on a meeting of the Commission to receive comments of any interested person or entity concerning the following: (i) any amendment to the Code of Ordinances prior to formal recommendation by the Commission to the City Council in the Commission's advisory role; (ii) certain Replats; (iii) any other item of business requiring the use of a Public Hearing; or (iv) any item of business that the Commission deems in its sole discretion to be conducive to the conduct of a Public Hearing.

### **Quorum**

A Quorum of the Commission is any four or more Commissioners.

### **Regular Meeting**

A meeting of the Commission held pursuant to an Agenda. Regular Meetings of the Commission are held on the second Thursday of each month in the Council Chambers of the City, 7008 South Rice Avenue, Bellaire, Texas or at such other location as designated by the Agenda.

If it should be necessary because of the workload that any Regular Meeting be continued to the following day, such a meeting will reconvene on the day following, and this second meeting shall be considered as part of the same session. The Planning and Zoning



Commission shall state the time and location of the second meeting prior to the conclusion of the first meeting.

### **Replat**

A proposed modification of an existing Plat pursuant to Texas Local Government Code Chapter 212 and the Code of Ordinances. A Replat may not amend or remove existing covenants or Deed Restrictions. See also Amending Plat and Plat.

### **Rules**

These Rules of Procedure of the Commission of the City.

### **Special Meeting**

A meeting of the Commission, other than a Regular Meeting, held pursuant to an Agenda.

### **Specific Use**

A certain use of land that, because of its nature and existing location, is not a use permitted by right.

### **Staff Liaison**

A City staff person appointed by the City Manager of the City in accordance with Section 24-304 of the Code of Ordinances. The Staff Liaison provides assistance to the Commission and is also known as the Zoning Official.

### **Workshop**

A meeting of the Commission called for the purpose of discussing a specific issue of interest to the Commission. No Business may be voted upon at a Workshop.

### **Zoning**

A power over division of land and its use granted to a City pursuant to Chapter 211, Texas Local Government Code, for the purpose of promoting the public health, safety, morals, and/or general welfare, and protecting and preserving places and areas of historical, cultural, or architectural importance and significance.

### **Zoning District**

A geographic division of land by means of land use.

### **Zoning Official**

See Staff Liaison.

## **Article III      Membership / Structure**

### **Section A      Appointment and Removal of Commissioners; Conflicts of Interest**



Membership on the Commission is by appointment made by the City Council of the City, pursuant to the Code of Ordinances.

The Commission consists of seven (7) Commissioners. Each Commissioner shall serve for two (2) years. Three (3) Commissioners are appointed in odd numbered years and four (4) in even numbered years. No Commissioner shall be appointed to serve more than three (3) consecutive full terms; any part of a term shall not constitute a full term.

Commissioners may be removed by City Council for cause after being provided with written charges and the opportunity to provide a defense at a City Council meeting in a closed session or, at the option of the Commissioner in question, at a Public Hearing. Vacancies shall be filled by a vote of the City Council, as necessary.

No Commissioner shall vote or participate as a Commissioner in any proceeding before the Commission that involves any matter regarding a business entity or real property in which that Commissioner has a substantial interest. If a substantial interest exists, the affected Commissioner shall disclose the nature and extent to the Commission by affidavit and remove him or herself from any participation in the discussion, deliberations, or action on the matter. The specific rules for determining when a substantial interest exists, and how it must be handled are defined by the following:

- §171.002 and §171.004 of the Texas Local Government Code,
- The Code of Ordinances, Chapter 2, Article VI, Code of Ethics, and
- Code of Ordinances, Chapter 2, Article VII, Division 2, §2-104.

## **Section B      Officers of the Commission**

The officers of the Commission are the Chair and Vice Chair.

At the first or second Regular Meeting of each year following the regular appointment of Commissioners, a Chair and Vice-Chair shall be elected from among the Commissioners pursuant to the Code of Ordinances. The previous year's Chair shall preside over the election of the Chair, who shall immediately assume his or her duties and preside over the election of the Vice-Chair. .

In the event that either officer shall fail to complete his or her term of service for any reason, a new officer shall be elected to the vacated position at the next Regular Meeting.

## **Section C      Chair's Duties**

The Chair shall preside over each meeting of the Commission. To this affect the Chair:

- Shall conduct meetings in an orderly, fair, and open manner.
- Shall oversee preparation of the Agenda for each meeting of the Commission as provided in Article IV Section A.

Pursuant to authorizations given by the Commission, the Chair shall:

- Sign Plats



- Submit findings and recommendations of the Commission to be forwarded to the City Council
- Prepare certifications of reasons for approval or denial of Plats requested by interested persons, in accordance with state law
- Correspond with the City Manager, Staff Liaison, Council Liaison, City Council, City Departments, or other boards or commissions as directed by the Commission
- At his or her discretion, request investigation by City staff regarding comments or questions brought by or to the attention of the Commission

#### **Section D Vice Chair's Duties**

The Vice Chair shall preside in the absence of the Chair. In the event of the absence or disability of the both the Chair and Vice Chair, the Commissioners shall elect an Acting Chair to preside during such absence. The Vice Chair or Acting Chair shall perform all of the acts required of the Chair until his or her return or replacement.

### **Article IV Agendas and Meetings**

Meetings of the Commission shall be conducted in such a manner as to allow for a fair and orderly examination of the issues before the Commission.

Meetings shall generally be conducted in accordance with parliamentary procedure as set out in the latest edition of Robert's Rules of Order unless otherwise specified by these Rules. However, breach of Robert's Rules of Order, in and of itself, shall not render any action by the Commission invalid.

The order of business for specific types of meetings is established in this Article. At any meeting, the order in which Agenda items are addressed may be altered by the Chair.

#### **Section A Establishment of the Agenda**

Items for consideration and/or action by the Commission may be placed on a meeting Agenda as follows:

- By the Chair;
- At the direction of the City Council or the request of the City Manager, Council Liaison, or the Staff Liaison;
- By written request from any other board or commission of the City delivered to the Chair or the Staff Liaison; or
- As required by state law or the Code of Ordinances.

No item may be submitted for inclusion on a meeting Agenda after noon of the seventh day preceding the date of such meeting.

#### **Section B Types of Meetings**

The types of meetings addressed by these Rules are as follows:



- Regular Meetings
- Special Meetings
- Public Hearings
- Commission Workshops
- Committee Meetings
- First Meeting of a New Commission

## **Section C      Regular Meetings**

The Agenda and conduct for a Regular Meeting of the Commission shall be as follows:

### **I.      Call to Order and Announcement of Quorum**

After confirming that everyone necessary to conduct business is ready, the Chair shall call the meeting to order, noting for the record the time and date that the meeting is called to order.

The Chair shall determine and announce the presence of a Quorum. The Chair should announce and the minutes should reflect the names of Commissioners present and absent.

### **II.      Approval of minutes from Past Meeting(s)**

Minutes from the previous meeting(s) shall be reviewed and may either be approved (i) as submitted; (ii) approved with corrections; or (iii) deferred to a future meeting to allow time for staff corrections and revisions.

### **III.      Reminder To Persons Desiring To Address Commission**

Persons desiring to be heard on a particular Agenda item and/or on any matter of general interest to the Commission shall be afforded the opportunity to speak in accordance with these Rules. The Commission shall make available at the entrance to the meeting place the Personal/Audience Comments Form by which persons shall indicate their desire to be heard.

The Chair shall remind persons desiring to address the Commission that each person who wishes to speak, other than in presenting an Application or other matter on the Agenda to the Commission or if invited by the Commission to offer expertise on a particular matter, must submit the "Personal/Audience Comments Form." To accommodate all speakers, citizen comments are limited to three (3) minutes. If another speaker wishes to yield their time to you, a total of six (6) minutes will be allotted for your comments. Please make sure that the speaker's form indicates to whom they are yielding their time. If additional time is not yielded to the speaker, their time limit may be extended to five (5) minutes at the discretion of the Chair. Generally, written requests to speak will be accepted before completion of any docket item under consideration. However, in the event that the Commission is considering an Application, written requests to speak must be submitted before the Chair calls for the response of the Applicant.

### **IV.      General Public Comments**

Persons at the meeting who have indicated their desire to be heard on matters of general interest to the Commission, by submitting the form provided, shall have three (3) minutes each to present their comments in an order determined by the Chair. If another speaker



wishes to yield their time to you, a total of six (6) minutes will be allotted for your comments. Please make sure that the speaker's form indicates to whom they are yielding their time. If additional time is not yielded to the speaker, their time limit may be extended to five (5) minutes at the discretion of the Chair. . Media presentations are subject to the availability of the City's electronic equipment, and must be submitted to the Development Services Director for review in advance of the meeting. Questions presented to the Commission may be referred to staff.

#### V. Current Business

The procedure for considering Applications that do not require a Public Hearing is as follows:

- **Presentation of the Application by the Applicant.** The Applicant or agent(s) may make a presentation not to exceed fifteen (15) minutes in length.
- **Presentation of the Application by City Staff.** Staff shall provide a presentation on the Application providing pertinent information and findings.
- **Response or Additional Comments from the Applicant.** The Applicant may respond to the presentation by staff, public comments or make additional comments regarding the Application. Such response or additional comments shall be limited to five (5) minutes.
- **Discussion and Consideration by the Commission.** The Commissioners shall each have an opportunity to question the Applicant at the close of his or her Response or Additional Comments (if any). Then each Commissioner shall have the opportunity for questions to staff, public speakers, and/or general discussion concerning the Application. Following discussion, the Application shall be considered for approval upon motion of any Commissioner, duly seconded.
- **Voting.** Each Commissioner, including the Chair, is entitled to a vote on an Application. A motion to approve an Application passes upon votes in favor of the motion by a minimum of four Commissioners. In the event of a protest petition pursuant to Section 212.015 (c) of the Texas Local Government Code (regarding a proposed Replat requiring a variance), the vote required for approval shall be not less than 75% of the Commissioners present. Plats and Replats are approved unless denied.

Other items of Current Business for consideration and possible action by the Commission shall proceed similarly. In general, motions for action should be made in the affirmative.

#### VI. Committee Reports

A member of a Committee may present a report to the Commission concerning any issue such Committee has been designated to address. All Committee reports shall be in writing and provided to the Commission prior to any oral report.

#### VII. Correspondence

Staff shall report on correspondence received and/or other City business relevant and of interest to the Commission. Commissioners may also report on correspondence or other communications received concerning matters of interest to the Commission. All written correspondence that is discussed shall be provided for distribution to the Commission.



### VIII. Requests for New Business, Announcements and Comments

Staff, the Chair, and/or Commissioners shall announce Committee schedules, the need for Public Hearings, discussions before or by the City Council relative to Commission matters, the need for Commission participation in Council meetings or Public Hearings, or any other matter of interest to the Commission. The Chair shall recognize any Commissioner who wishes to bring New Business to the attention of the Commission for future Agenda or staff action.

### IX. Adjournment

The Chair shall entertain or call for a motion to adjourn. The meeting is adjourned upon motion of any Commissioner, duly seconded, and a majority vote of the Commissioners present.

### Section D Special Meetings

Special Meetings may be called by the Staff Liaison, the Chair or any two Commissioners, to occur at a time other than a Regular Meeting. Notice of a Special Meeting shall be given in conformity with the Texas Open Meetings Law and with the procedures of the City.

### Section E Public Hearings

Staff shall promptly bring to the Chair's attention any matters that require a Public Hearing. The Chair shall announce the need for such a hearing to the Commission, which shall set a time and place for such hearing. A Public Hearing may be held during a Regular Meeting or a Special Meeting.

In the event of a joint Public Hearing called by the City Council, the time, venue, Agenda, and procedure for conduct of the meeting is determined by the City Council.

The conduct of a Public Hearing shall be as follows:

#### I. Presentation of the Public Hearing Process

The City Attorney or the Staff Liaison shall present the Public Hearing process to be followed.

#### II. Presentation by the Applicant

The Applicant or his or her representative(s) shall have fifteen (15) minutes to present his or her request to the Commission.

#### III. Staff Findings

City staff shall present findings and conclusions of each City department and/or consultant that reviewed the Application.

#### IV. Public Comments

Persons at the meeting who have indicated their desire to address the Commission by submitting the form provided shall have three (3) minutes each to present comments concerning the Application. If another speaker wishes to yield their time to you, a total of six (6) minutes will be allotted for your comments. Please make sure that the speaker's



form indicates to whom they are yielding their time. If additional time is not yielded to the speaker, their time limit may be extended to five (5) minutes at the discretion of the Chair, with the consent of the Commission. Media Presentations are subject to the availability of the City's electronic equipment and must be submitted to the Development Services Director for review in advance of the meeting.

#### V. Response of Applicant

The Applicant may respond to staff findings, public comments or make additional comments regarding the request. Such response or comments shall be limited to five (5) minutes.

#### VI. Questions from the Commission

Each Commissioner shall have the opportunity to make inquiries of the Applicant, speakers or staff.

#### VII. Invitation for Written Comments, if applicable

The Chair shall announce that further evidence or comments from the public or from the Applicant shall not be received except in writing submitted to the Commission no later than a date certain (to be announced).

#### VIII. Closure of the Public Hearing

The Chair shall entertain or call for a motion to close the Public Hearing. The Public Hearing is closed upon motion of any Commissioner, duly seconded, and a majority vote of the Commissioners present.

### **Section F Commission Workshops**

The Agenda and conduct for a Commission Workshop shall be established by the Chair and Staff Liaison. Current Business may not be voted upon at a Workshop.

### **Section G Committee Meetings**

The order of business at a Committee meeting is wholly at the discretion of the Committee Chair.

### **Section H First Meeting of a New Commission**

The first meeting of a new Commission shall be a joint meeting of the outgoing Commission and the incoming Commission. The Chair of the outgoing Commission shall call the meeting to order and shall preside until the Chair of the incoming Commission is elected. The meeting will be conducted in two parts according to the Agendas and conduct established by the Chair and Staff Liaison and shall include but not be limited to the following:

#### **(1) Meeting of the Outgoing Commission**

- I. Unfinished Business, Minutes, Communications and Reports
- II. Swearing In of New Commissioners (incoming Commission assumes duties and outgoing Commission retires)

#### **(2) Meeting of the Incoming Commission**



The meeting of the incoming Commission shall proceed as a Regular Meeting, with Current Business to include (1) Introduction of Incoming Commissioners, (2) Election of Chair and Vice Chair, and (3) Adoption of Rules of Procedure.

## **Article V           Docket Items**

### **Section A       Numbering Docket Items**

Docketing procedures may be established by City staff in accordance with its needs and procedures, or as directed by the Commission.

### **Section B       Minutes of Meetings**

The City Manager shall provide staff to serve as Secretary for the Commission. The Secretary shall maintain a record of minutes of each Commission meeting. The Secretary shall indicate in the minutes which Commissioners were present and which were absent during all, or part of, each meeting. The minutes shall include a report of the proceedings and any action taken at each meeting, including the vote of each Commissioner on each motion before the Commission.

## **Article VI           Administration of Rules of Procedure**

### **Section A       Adoption by Incoming Commission**

The incoming Commission shall by majority vote adopt temporary or permanent Rules, which shall take effect immediately and remain in effect until amended.

### **Section B       Amendments by Existing Commission**

These Rules may be amended by a majority vote of the entire Commission as an item of Current Business.

### **Section C       Review**

These Rules shall be reviewed not less frequently than every two years. The adoption of these Rules by a new Commission shall not constitute such review.

### **Section D       Committee on Rules**

The Chair may appoint a Committee on Rules to conduct the required annual review of these Rules and to make recommendations to the Commission concerning the adoption and amendment of these Rules.

## **Article VII       Hierarchy of Authority**

If there is a conflict among various legal instruments, referenced documents, and these Rules of Procedure, the following hierarchy shall apply:

1. The Constitution and statutes of the United States of America
2. The Constitution and statutes of the State of Texas



3. The Charter of the City
4. The Code of Ordinances of the City

## **Adoption of Rules of Procedure**

These Rules are adopted by the Planning and Zoning Commission of the City of Bellaire, Texas, on this, the 13<sup>th</sup> day of July, 2017.

**Attest:**

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**Chairman**



**History:**

2017-2018 Term  
Adopted by Commission July 13, 2017  
Amended by Commission August 10, 2017

2016-2017 Term  
Adopted by Commission July 12, 2016

2015-2016 Term  
Adopted by Commission July 14, 2015  
Amended by Commission October 13, 2015

2013-2014 Term  
Adopted by Commission July 8, 2014

2012-2013 Term  
Adopted by Commission July 9, 2013

2011-2012 Term  
Adopted by Commission July 10, 2012

2010-2011 Term  
Amended November 8, 2011

2009-2010 Term  
Adopted by Incoming Commission July 14, 2009

2008-2009 Term  
Adopted by Incoming Commission July 8, 2008

2007-2008 Term  
Adopted January 8, 2008  
Amended March 11, 2008  
Amended July 14, 2009



**Planning and Zoning  
Commission**

Council Chamber, First Floor of City Hall  
Bellaire, TX 77401-4411



Meeting: 07/12/18 06:00 PM  
Department: Development Services  
Category: Public Hearing  
Department Head: ChaVonne Sampson  
DOC ID: 2584

**SCHEDULED  
PUBLIC HEARING (ID # 2584)**

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**Item Title:**

Docket # SU-2018-04-Public hearing on an application filed by Daniel Chang, as applicant, for a Specific Use Permit as required by the City of Bellaire Code of Ordinances, Chapter 24, Planning and Zoning, Section 24-605, Application for Specific Use Permit, to allow for the operation of a drive-through hand car wash and detail facility at 5235 Bellaire Boulevard, as provided for in Section 24-536 B. (2) d)2) of the City of Bellaire Zoning Code. The property is located within the Corridor Mixed-Use (CMU) Zoning District.

**Background/Summary:**

This public hearing is on a request for a Specific Use Permit to operate a drive-through hand car wash and detail facility on the site of the old Prosperity Bank location, at the corner of Bissonnet and Ferris Street. "Automotive service station" is permitted as a specific use under Sec. 24.536, Corridor Mixed-Use, B.(2),d) 2) of the City of Bellaire Code of Ordinances. A specific use permit is also required for all commercial uses with drive-in or drive-through facilities, and will be included as part of the ordinance, should the request be granted. The applicant is proposing to keep the existing structure, but make modifications to the drive-through area in order to accommodate the car wash and detailing facility. The former Prosperity Bank operated under a specific use permit (S-60), which was granted by Ordinance No. 03-011, and approved by City Council on March 3, 2003.

**Site Details**

Property Owner: Bell Will 5235 LLC  
Applicant: Daniel Chang

Location: 5235 Bellaire Boulevard

Legal Description: TRS 11 BLK 47, Bellaire Par Amend

Current Zoning: CMU, SUP # S-60  
Requested Zoning: CMU with SUP  
Future Land Use Map: CMU

**Notice Information**

**Owners of property and Tenants within 500 feet:** 79 letters mailed

**Notification letters mailed:** June 29, 2018

**Legal Notice published:** June 26, 2018

**Notification Signs Posted:** June 26, 2018

**Adjacent Base Zoning and Land Uses**

**Direction:** North

**Current Base Zoning:** UV-D

**Current Land Use:** Commercial



**Direction:** East  
**Current Base Zoning:** CMU  
**Current Land Use:** Commercial

**Direction:** South  
**Current Base Zoning:** R-4  
**Current Land Use:** Single-Family

**Direction:** West  
**Current Base Zoning:** CMU  
**Current Land Use:** Commercial

**Recommendation:**

No action is required at this time. The item is tentatively scheduled for consideration at the Commission's August meeting.

**ATTACHMENTS:**

- 5235 Bellaire Blvd SUP Application (PDF)



## City of Bellaire – Specific Use Permit Application

April 30<sup>th</sup>, 2018

CITY OF BELLAIRE  
RECEIVED  
APR 30 2018  
DEVELOPMENT SERVICES

1. Name of Applicant: Daniel Chang  
Address of Applicant: 4922 Chestnut St., Bellaire, Tx 77401
2. Section Authorizing SUP: 24-536 B.(2)d)2)
3. Legal Description of Property: See attached Exhibit A to Affidavit  
Legal Address of Property: 5235 Bellaire Blvd, Bellaire, TX 77401
4. Statement of Ownership: See attached
5. Proposed Specific Use: Keep the existing structure and make modifications for the use of a Hand Car Wash and detail facility.
6. Environmental Assessment of General Impact of Development: See Attached
7. Other Documents Attached.
  - 1) Survey of the Property
  - 2) Letter of Approval from Owner to Lessee

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



# CITY OF BELLAIRE ENVIRONMENTAL ASSESSMENT FORM

**PROJECT**

Subdivision Name:

Location (Address or major crossroads/boundary streets);

*BISSONNET STREET & FERRIS STREET*

Project valuation/cost:

Any foreseen zoning issues? (if yes, describe.)

*No*CITY OF BELLAIRE  
RECEIVED

APR 30 2018

DEVELOPMENT SERVICES

**OWNER**

Name:

*DANIEL CHANG*

Address:

*4922 CHESTNUT ST., BELLAIRE, TX 77401*Phone: *713-449-9221*Email: *dan.chang@mac.com***PROJECT ENGINEER (OR SURVEYOR IF NO ENGINEER)**

Name:

*HACHEM DOMLOJ, PE / CEVE, INC*

Address:

*2801 POST OAK STREET HOUSTON, TX 77056*Phone: *713-539-8388*Email: *hd@ceve.com*

Is project residential, commercial, or mixed use?

Multi-phased project? (If yes, include a site plan detailing phases including estimated timeline.)

*Project area as residential*

Number of square feet?

Number of single-family, attached lots?

Number of single-family, detached lots?

Number of multi-family units?

Overall density of residential area?

*Project area as commercial*

Number of square feet?


Percentage Office?

Percentage Retail?

Percentage Other (detail)?

*621**20%**80%*

*Include a letter from owner/project engineer addressing the following: utility needs, detention requirements, thoroughfare impacts, any environmental issues, and impact of construction on surrounding community.*

  
 Signature of Applicant

*4/30/18*  
 Date

This analysis assists the City in reviewing your proposed project. Providing the most accurate information will facilitate a better development for both you and the City.

Additional information may be required throughout the development process.





April 27, 2018

Mr. Daniel Chang  
4922 Chestnut St.  
Bellaire, TX 77401  
PH: 713-449-9221  
Email: dan.chang@mac.com

CITY OF BELLAIRE  
RECEIVED  
APR 30 2018  
DEVELOPMENT SERVICES

**RE: Conversion of an existing commercial facility to a hand carwash to be located at the intersection of Bissonnet & Ferris Street in the city of Bellaire, TX**

Mr. Chang, this letter is to address the utility needs, detention requirements, and environmental impacts of the construction on the community surrounding your proposed endeavor. It is our opinion, the referenced work will not require any additional utilities; as the existing facility is already being serviced by water, sewer, and drainage facilities. Furthermore, there will be no additional detention requirements; as the existing site is fully developed and no additional paving is required for the facility conversion. Finally, any residual runoff from car washing will be captured by a sand oil interceptor which will alleviate any environmental impact on the existing drainage system.

If you have any question or comments regarding this letter, please don't hesitate to contact me at 281-870-8727 ext. 201.

Sincerely,

Hachem Domloj, PE  
President  
CIVE, Inc.

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



CITY OF BELLAIRE  
RECEIVED

APR 30 2018

DEVELOPMENT SERVICES

**AFFIDAVIT**

OWNER: BELL-WILL 5235 LLC

SUBJECT PROPERTY (the "Property"): See Exhibit "A"

Before me, the undersigned authority, on this day personally appeared the Affiant known to me to be the person whose name is subscribed hereto and upon his oath deposes and says, in his capacity as indicated below, that to the best of his actual knowledge there are:

1. Affiant is making this affidavit as the owner of the Property or on behalf of the entity shown above, if any, as the owner of the Property, in which case Affiant is duly authorized by such entity to make this affidavit. As used herein, "Owner" means either Affiant, as owner of the Property or such entity, as owner of the Property, as appropriate and as the context requires.
2. Owner allows Daniel Chang to submit an application to the City of Bellaire for the sole purpose of obtaining a specific use permit for operation of a hand car wash on the Property and for no other purpose.

Affiant recognizes that but for making of the hereinabove statements relative to the Property, City of Bellaire would not issue a specific permit for use on said property in favor of Daniel Chang, and that such statements have been made as an inducement for such issuance.

*[signatures on following page]*

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



This instrument may be executed in one or more counterparts, each being an original hereof, and all constituting but one and the same instrument dated effective as of the \_\_\_\_\_ day of April, 2018.

BELL-WILL 5235 LLC

By: Khaleel Salem  
 Name: Khaleel Salem  
 Title: manager

THE STATE OF TEXAS

§

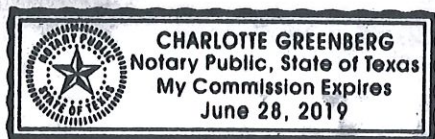
§

COUNTY OF HARRIS

§

This instrument was acknowledged before me on the 30<sup>TH</sup> day of April, 2018 by KHALEEL, SALEM of Bell-Will 5235 LLC, a Texas limited liability company, on behalf of said limited liability company.

Charlotte Greenberg  
 Notary Public in and for the  
 State of Texas



CHARLOTTE GREENBERG  
 Printed Name of Notary Public  
 My Commission Expires: 6/28/2019

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



**EXHIBIT A to Affidavit****Legal Description of Land**

Lot Eleven (11) of the Amending Plat of Lots 11 & 12, Block 47, Town of Bellaire, Texas, according to the map or plat thereof, recorded under Film Code 530185, of the Map Records of Harris County, Texas.

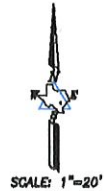
Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



Legend	
H.C.D.F.	Harris County Deeds File
H.C.D.R.	Harris County Deed Records
H.C.M.R.	Harris County Map Records
FND	Found
FND	Fence
U.E.	Utility Easement
A.E.	Asphalt Easement
L.P.	Iron Pipe
L.R.	Iron Rod
R.O.W.	Right of Way
B.L.	Building Line
G.I.	Grate Inlet
G.M.	Gas Meter
T.P.	Telephone Pedestal
F.H.	Fire Hydrant
T.A.	Traffic Sign
C.P.	Concrete Post
D.B.	Drop Box
S.P.	Sight Pole
C.M.	Controlling Monument
O.U.	Overhead Utilities
R.C.P.	Reinforced Concrete Pipe
T.E.P.	Traffic Signal Pole
W.V.	Water Valve
M.	Manhole
S.W.	Sample Well
S.M.	Storm Machine
I.	Inlet
M.W.	Monitor Well
P.P.	Power Pole
W.M.	Water Meter
E.B.	Electric Box
F.P.	Flag Pole
T.A.P.	Traffic Signal Box
C.O.	Clean Out

CITY OF BELLAIRE  
RECEIVED  
APR 30 2018  
DEVELOPMENT SERVICES

BELLAIRE BOULEVARD  
(250' R.O.W.)



NOTES:  
1. BEARINGS  
SHOWN  
HEREON ARE  
BASED ON  
RECORDED  
PLAT.

2. SUBJECT  
TO APPLICABLE  
RESTRICTIVE  
COVENANTS  
LISTED IN ITEM  
1, SCHEDULE  
"B" THE TITLE  
COMMITMENT  
ISSUED ON

BY  
UNDER O.F.  
NO.

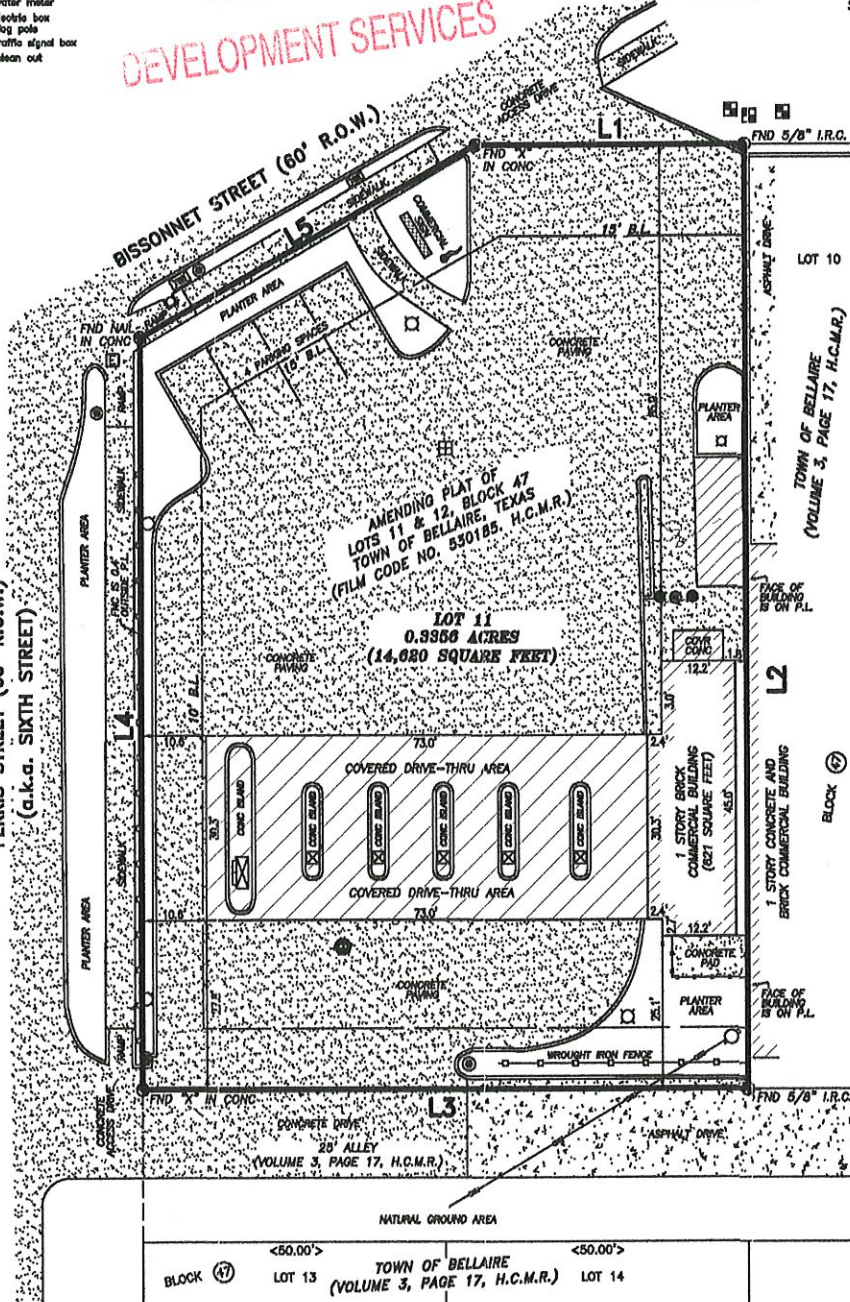
EFFECTIVE

AS LISTED:  
VOLUME 3,  
PAGE 17 AND  
FILM CODE NO.  
530185,  
HARRIS  
COUNTY MAP  
RECORDS.

3. PROPERTY  
SUBJECT TO  
THAT CERTAIN  
ORDINANCE NO.  
95-004 AS  
RECORDED IN  
HARRIS  
COUNTY FILE  
CLERKS FILE  
NO. R3508009.

4. PROPERTY  
SUBJECT TO  
THAT CERTAIN  
ORDINANCE NO.  
92-105 AS  
RECORDED IN  
HARRIS  
COUNTY FILE  
CLERKS FILE  
NO. K056167.

FERRIS STREET (60' R.O.W.)  
(a.k.a. SIXTH STREET)



LINE TABLE

L1	EAST	44.35'
L2	SOUTH	155.00'
L3	WEST	100.00'
L4	NORTH	123.39'
L5	N 60°24'10" E	64.00'

SUBJECT PROPERTY IS LOCATED IN A FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD ZONE "AE".  
MAP 9, 48021G, PANEL 3000A, DATED 05-18-07. The information is based on a public filing only. We do not assume responsibility for such information.

BOUNDARY SURVEY OF:

0.3366 ACRES (14,620 SQUARE FEET) BEING ALL OF LOT 11 OF THE AMENDING PLAT OF LOTS 11 & 12, BLOCK 47, TOWN OF BELLAIRE, TEXAS AS RECORDED IN FILM CODE NO. 530185, HARRIS COUNTY MAP RECORDS, HARRIS COUNTY, TEXAS

PURCHASER: WILBERT ACQUISITIONS, LLC

ADDRESS: 5235 BELLAIRE BOULEVARD BELLAIRE TX 77401

DRAFTED: 07-21-10/08

JOB NO.: BLS-3808

FIELD WORK: 07-17-10/08

KEY MAP: 631F

PROPERTY SUBJECT TO SUBORDINATE COVENANTS, CONDITIONS AND RESTRICTIONS.

I HEREBY CERTIFY THAT THE ABOVE SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



**BROUSSARD  
LAND  
SURVEYING**  
Land Surveying Services

BROUSSARD LAND SURVEYING, LLC

1801 BROADMAN STREET HOUSTON TX 77008  
(281) 660-0707 www.broussardlandsurveying.com



CITY OF BELLAIRE  
RECEIVED

APR 30 2018

DEVELOPMENT SERVICES

**Alamo Title Company****Fidelity National Title-Houston Division  
1800 Bering, Suite 150  
Houston, Texas 77057****CITY PLANNING LETTER****DATE:** APRIL 23, 2018 @ 8:00 A.M.**CERTIFICATE NO.:** ATCH16061011 Bell-Will 5235 LLC**SPECIAL REPORT TO THE CITY  
PLANNING COMMISSION****SUBJECT TO:**

THIS REPORT DOES NOT ADDRESS AND NO SEARCH HAS BEEN PERFORMED REGARDING THE FOLLOWING: CLAIMS AND RIGHTS OF PARTIES IN POSSESSION; DISCREPANCIES IN AREA AND BOUNDARIES; UNPAID BILLS FOR LABOR OR MATERIAL IN CONNECTION WITH REPAIRS OR NEW IMPROVEMENTS; UNPAID TAXES; CHANGE IN MATERIAL OR CORPORATE STATUS OF OWNER(S) SINCE DATE OF PURCHASE; HOMESTEAD RIGHTS OR CLAIMS; EASEMENTS AND RESTRICTIONS.

**RECORD OWNER:**

Bell-Will 5235 LLC, a Texas limited liability company, recorded under Harris County Clerk's File No. RP-2016-504519.

**CORRECT DESCRIPTION OF THE PROPERTY:**

Lot Eleven (11) of the Amending Plat of Lots 11 & 12, Block 47, Town of Bellaire, Texas, according to the map or plat thereof, recorded under Film Code 530185, of the Map Records of Harris County, Texas.

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



**1. RESTRICTIONS:**

Those recorded under Film Code 530185, of the Map Records of Harris County, Texas.

**2. EASMENTS**

Building set back line 15 feet in width along the northerly property lines as shown by the recorded plat of said subdivision.

Building set back line 10 feet in width along the westerly and southerly property lines as shown by the recorded plat of said subdivision.

Subject to any existing public utility easements and dedication of the surface for public use in alley along the South property lien, as set forth in instrument filed under Harris County Clerk's File Number(s) R309009.

**3. LIENS**

Vendor's Lien retained in the following Deed securing the payment of one note in the principal amount shown below:

Dated:	November 4, 2016
Grantor:	Prosperity Bank, a Texas Banking Association
Grantee:	Bell-Will 5235 LLC, a Texas limited liability company
Note Amount:	\$520,000.00
Payable to:	CommunityBank of Texas, N.A.
Recording Date:	November 8, 2016
Recording No.:	Under Harris County Clerks File No. RP-2016-504519

Additionally secured by Deed of Trust of even date therewith as set forth below:

To:	Joe West, Trustee
Recording Date:	November 8, 2016
Recording No.:	Under Harris County Clerks File No. RP-2016-504520

**SPECIAL NOTE AND LIMITATION OF LIABILITY:** This Report is issued with the express understanding evidenced by the acceptance of same, that this report does not undertake to give or express any opinion as to the validity of the title hereinabove described or the authority of those executing the above listed instruments, but is simply reporting herein and hereby as to the recitals of instruments listed. The Company assumes no liability greater than the consideration paid for this certificate by reason of issuance, delivery and/or use of same, nor for any error or omissions herein.

This report does NOT reflect title to any of the oil, gas and other mineral interests affecting subject property, nor any documents creating and/or affecting said estates, nor the validity of any rights, privileges and immunities relating thereto, for the use and benefit to the above described party(ies) and liability of the Company for mistakes or errors in this Title Report is hereby limited to the cost of the Title Report. This Title Report is issued with the express understanding, evidenced by the acceptance thereof, that the Company does not undertake to give or express any opinion as to the validity



of the title to the property described nor the validity or effect of the instruments listed and this Title Report is neither a guaranty nor warranty of title.

ALAMO TITLE COMPANY

By: David Krause  
David Krause, Title Examiner

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



CITY OF BELLAIRE  
RECEIVEDRP-2016-504519  
11/08/2016 ER \$36.00APR 30 2018  
DEVELOPMENT SERVICES

**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.**

**SPECIAL WARRANTY DEED**

THE STATE OF TEXAS

§  
§  
§  
§

**KNOW ALL MEN  
BY THESE PRESENTS:**

COUNTY OF HARRIS

THAT **Prosperity Bank**, a Texas banking association ("**Grantor**"), for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, and the further consideration of the execution and delivery by the Grantee of that one certain promissory note of even date herewith in the principal sum of \$520,000.00, payable to the order of CommunityBank of Texas, N.A., as therein specified, providing for acceleration of maturity and for attorney's fees, the payment of which note is secured by the vendor's lien herein retained, and is additionally secured by a deed of trust of even date herewith to Joe West, Trustee, has **GRANTED, BARGAINED, SOLD and CONVEYED** and by these presents does GRANT, BARGAIN, SELL and CONVEY unto **Bell-Will 5235 LLC**, a Texas Limited Liability Company ("**Grantee**"), subject to the matters set out below:

- A. that certain tract or parcel of land described in Exhibit "A" attached hereto and incorporated by reference herein for all purposes (hereinafter called the "**Land**");
- B. all buildings, structures, and improvements situated on the Land and all fixtures and other property affixed thereto (hereinafter called the "**Improvements**");
- C. all the rights and appurtenances pertaining to the Land and Improvements, all rights in and to wastewater capacity and other utility capacity allocated to the Land or Improvements, rights under any reciprocal easement agreements or other recorded or unrecorded instruments benefiting the Property (as hereinafter defined), any and all zoning and development approvals or rights in respect thereto, any right, title, or interest of Grantor in and to easements, adjacent or contiguous tracts, strips, gores, streets, alleys or rights-of-way, any reversionary rights attributable to the Land, any condemnation awards made or to be made in lieu thereof, and any awards for damage to the Land by reason of a change of grade of any highway, street, road, or avenue (hereinafter called the "**Appurtenances**");

(the Land, the Improvements, and the Appurtenances, are collectively referred to herein as the "**Property**").

This Special Warranty Deed and the conveyance set out above is executed by Grantor and accepted by Grantee subject to the matters described in Exhibit "B" attached hereto and

FILED BY  
ALAMO TITLE COMPANY  
ATCH/6061011

Page 1 of 6

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)

RP-2016-504519



incorporated herein by this reference, to the extent the same are validly existing and applicable to the Property (the matters set out in Exhibit "B" are referred to herein collectively as the "Permitted Encumbrances and Restrictions").

TO HAVE AND TO HOLD the Property, together with all and singular the rights and appurtenances thereunto in anywise belonging, unto Grantee, its successors and assigns forever, and Grantor does hereby bind itself, its successors and assigns, to WARRANT AND FOREVER DEFEND all and singular the title to the Property unto said Grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, by, through, or under Grantor, but not otherwise, subject to the Permitted Encumbrances and Restrictions.

But it is expressly agreed that the Vendor's Lien, as well as Superior Title in and to the above described premises, is retained against the above described Property, premises and improvements until the above described note and all interest thereon are fully paid according to the face, tenor, effect and reading thereof, when this Deed shall become absolute. THAT CommunityBank of Texas, N.A. ("Lender"), at the instance and request of the Grantee herein, having advanced and paid in cash to the Grantor herein that portion of the purchase price of the herein described property as is evidenced by the hereinabove described Note, the Vendor's Lien, together with the Superior Title to said Property, is retained herein for the benefit of said Lender and the same are hereby TRANSFERRED AND ASSIGNED to said Lender, its successors and assigns.

**OTHER THAN THE COVENANT OF TITLE CONTAINED IN THE PRECEDING PARAGRAPH, GRANTEE IS PURCHASING THE PROPERTY ON AN "AS IS, WHERE IS" BASIS WITH ALL FAULTS. GRANTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, WITH RESPECT TO THE PROPERTY, THE AVAILABILITY OF UTILITIES, ACCESS TO PUBLIC ROADS OR ITS PHYSICAL, OR ENVIRONMENTAL CONDITION. GRANTOR EXPRESSLY DISCLAIMS ANY WARRANTY OF HABITABILITY, MERCHANTABILITY, OR FITNESS FOR A PARTICULAR PURPOSE. GRANTEE TAKES THE PROPERTY WITH THE EXPRESS UNDERSTANDING AND STIPULATION THAT THERE ARE NO EXPRESS OR IMPLIED WARRANTIES EXCEPT FOR LIMITED WARRANTIES OF TITLE SET FORTH IN THIS DEED.**

Ad valorem taxes for the year 2016 having been prorated, Grantee, by its acceptance of this Special Warranty Deed, assumes payment thereof.

[Remainder of this page is blank. Next page is signature page.]



EXECUTED this the 4 day of November, 2016.

GRANTOR:

PROSPERITY BANK

By:

Name:

Title:

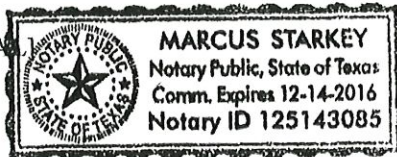
Robert F. Duckell

Executive Vice President

STATE OF Texas §  
 COUNTY OF Harris §

This instrument was acknowledged before me on this 4 day of November, 2016, by Robert Duckell, President of PROSPERITY BANK, on behalf of said association.

[SEAL]



Notary Public in and for the  
STATE OF TEXAS

IN WITNESS WHEREOF, this Special Warranty Deed has been accepted by Grantee to be effective as of the 4 day of November, 2016.

Bell-Will 5235 LLC,  
a Texas limited liability company

By:

Khaled Salem  
Khaled Salem, Manager



STATE OF Texas §  
COUNTY OF Harris §

This instrument was acknowledged before me on this 4<sup>th</sup> day of November, 2016, by Khaled Salem, Manager of Bell-Will 5235 LLC, a Texas limited liability company.



Ellis B Ray  
Notary Public in and for the  
STATE OF TEXAS

ADDRESS OF GRANTEE:

One Riverway, Suite 1870  
Houston, TX 77056

AFTER RECORDING RETURN TO:

One Riverway, Suite 1870  
Houston, TX 77056

RP-2016-504519

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



Exhibit A  
To Special Warranty Deed

Legal Description

Lot Eleven (11) of the Amending Plat of Lots 11 & 12, Block 47, Town of Bellaire, Texas, according to the map or plat thereof, recorded under Film Code 530185, of the Map Records of Harris County, Texas.

RP-2016-504519

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



EXHIBIT B  
to Special Warranty Deed  
Permitted Encumbrances

1. The following restrictive covenants of record itemized below:

Those recorded under Film Code 530185, of the Map Records of Harris County, Texas.

Omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.

2. The following matters and all terms of the documents creating or offering evidence of the matters:

- a. Building set back line 15 feet in width along the northerly property lines as shown by the recorded plat of said subdivision.
- b. Building set back line 10 feet in width along the westerly and southerly property lines as shown by the recorded plat of said subdivision.
- c. Subject to any existing public utility easements and dedication of the surface for public use in alley along the South property lien, as set forth in Instrument filed under Harris County Clerk's File Number(s) R309009.

RP-2016-504519

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



CITY OF BELLAIRE  
RECEIVED  
APR 30 2018  
DEVELOPMENT SERVICES

RP-2016-504519  
# Pages 7  
11/08/2016 10:39 AM  
e-Filed & e-Recorded in the  
Official Public Records of  
HARRIS COUNTY  
STAN STANART  
COUNTY CLERK  
Fees \$36.00

RECORDERS MEMORANDUM

This instrument was received and recorded electronically  
and any blackouts, additions or changes were present  
at the time the instrument was filed and recorded.

Any provision herein which restricts the sale, rental, or  
use of the described real property because of color or  
race is invalid and unenforceable under federal law.

THE STATE OF TEXAS  
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in  
File Number Sequence on the date and at the time stamped  
hereon by me; and was duly RECORDED in the Official  
Public Records of Real Property of Harris County, Texas.



*Stan Stanart*

COUNTY CLERK  
HARRIS COUNTY, TEXAS

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)

RP-2016-504519



THIS DOCUMENT IS THE PROPERTY OF CIVE CONSULTING, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CIVE CONSULTING, INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE APPLICABLE LAWS. CIVE CONSULTING, INC. SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING OUT OF THE USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. CIVE CONSULTING, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING OUT OF THE USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



2801 POST OAK BLVD SUITE 101  
HOUSTON, TEXAS 77056  
PH: 281-870-8727 / FX: 281-870-8728

W W W . C I V E . C O M

# CAR WASH AT BELLAIRE

5235 BELLAIRE BLVD. BELLAIRE, TX 77401

CIVE PROJECT # : AE-J18-5540

CITY PROJECT # :

## LOCATION MAP

### GENERAL

- G-000 COVER SHEET
- G-001 CODE ANALYSIS & GRAPHIC LEGEND
- G-002 ACCESSIBILITY STANDARDS
- G-003 ACCESSIBILITY STANDARDS

### LIFE SAFETY

- F-101 LIFE SAFETY PLAN

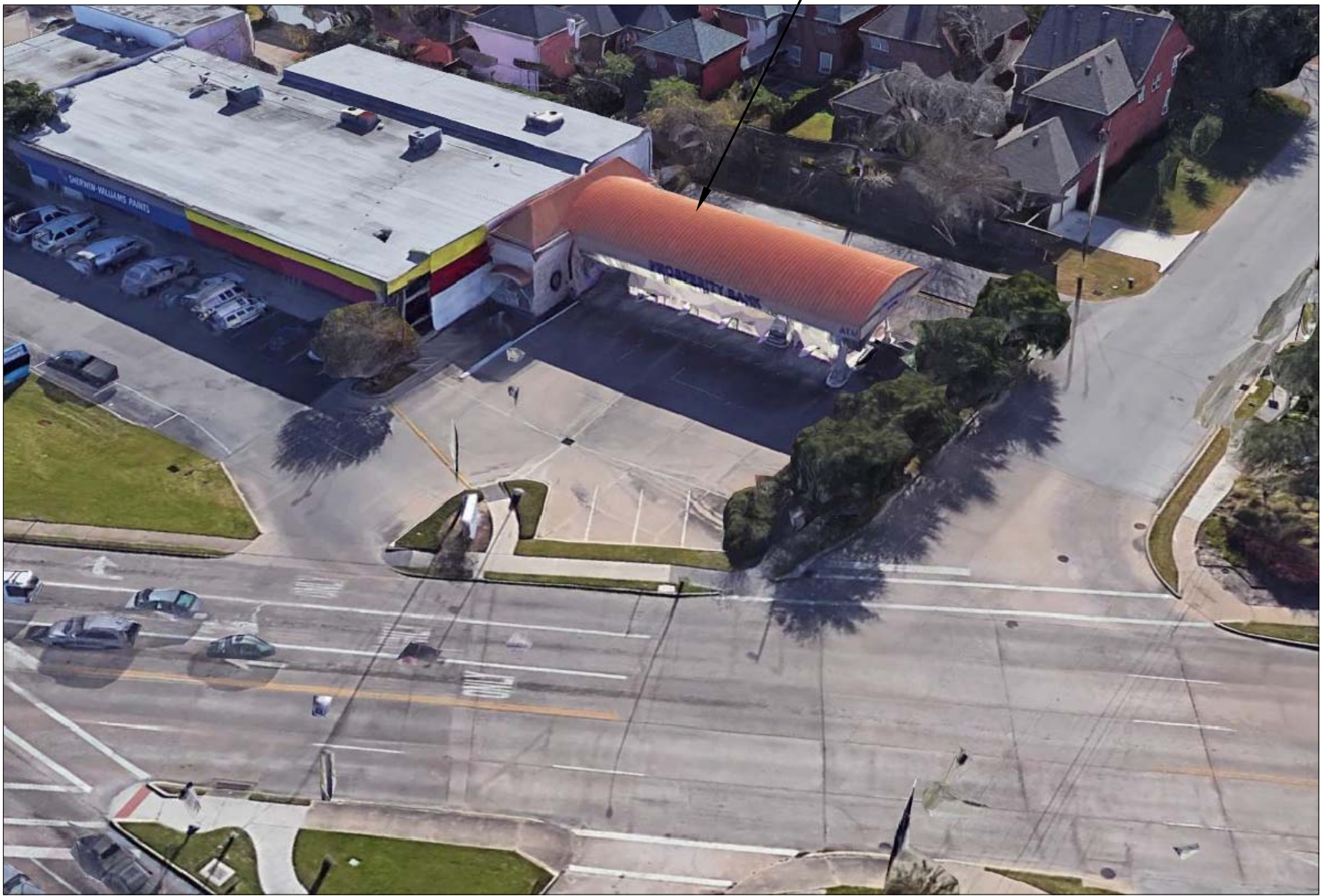
### ARCHITECTURAL

- A-101 DEMOLITION SITE PLAN AND SITE PLAN
- A-201 DEMOLITION PLAN, FLOOR PLAN, LIFE SAFETY PLAN & RCP
- A-301 EXISTING INTERIOR ELEVATIONS

### CIVIL

- C-1 CIVIL PLAN & NOTES
- C-2 CIVIL DETAILS

### SITE LOCATION

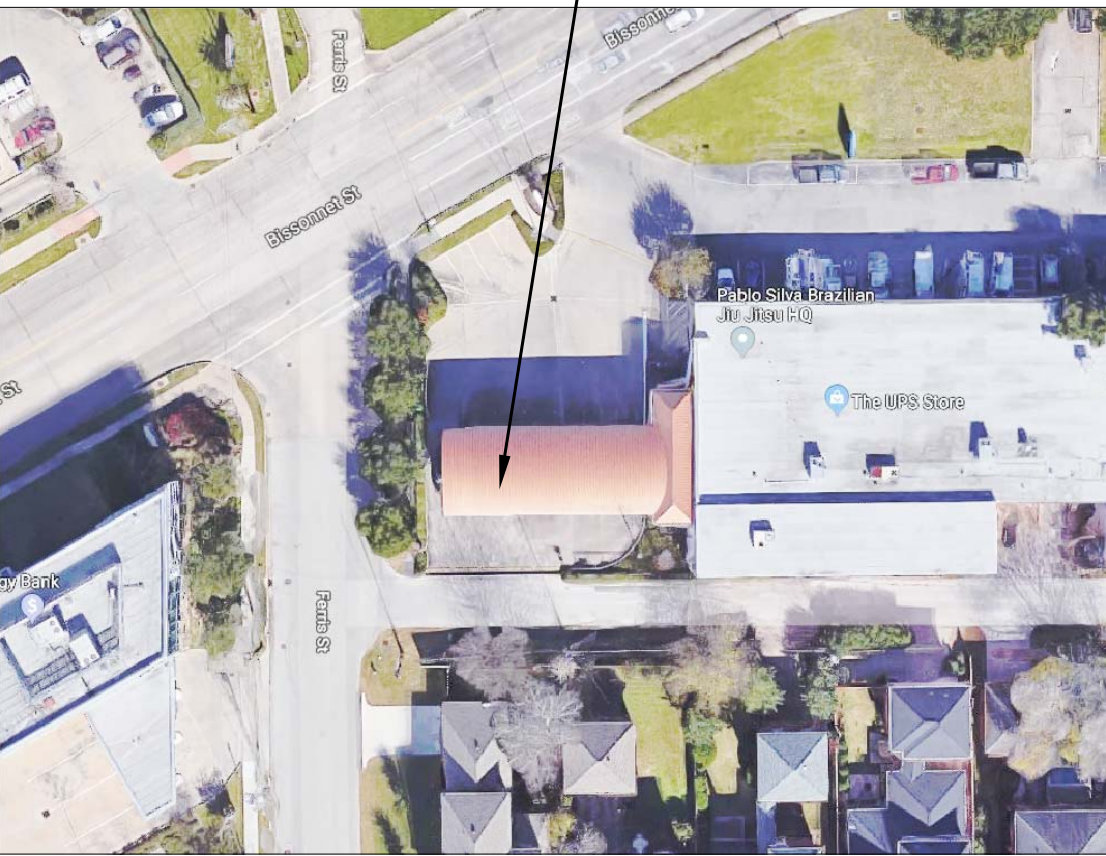


- OWNER:
- DANIEL CHANG  
4922 CHESTNUT STREET,  
BELLAIRE, TX 77401  
EMAIL: DAN.CHANG@MAC.COM  
PHONE: (713) 449-9221
- CONSULTANT:
- CIVE CONSULTING, INC  
2801 POST OAK BLVD #101  
HOUSTON, TEXAS 77056  
PH: (281) 870-8727  
FX: (281) 870-8728

## PROJECT DATA

- PROJECT DESCRIPTION: REMODELING FOR INTERIOR BUILD-OUT TO BE A HAND CAR WASH WITH 620 SF OF GROSS AREA AT 5235 BELLAIRE BLVD. BELLAIRE, TX 77401.
- PREVIOUS USE: COMMERCIAL /BANK

### SITE LOCATION



## GENERAL NOTES

- THE GENERAL CONTRACTOR (G.C.) SHALL CAREFULLY EXAMINE THE SITE AND SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF THIS WORK. DATA IN THESE SPECIFICATIONS AND ON THE DRAWINGS ARE AS ACCURATE AS POSSIBLE, BUT ARE NOT GUARANTEED. THE G.C. SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES OF THE SITE AND RELATED IMPROVEMENTS THAT MAY AFFECT THE WORK. BY ACT OF SUBMITTING A BID, THE G.C. IS DEEMED TO HAVE MADE SUCH EXAMINATION AND TO HAVE EXAMINED ALL ARCHITECTURAL, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS, AND TO HAVE MADE ALLOWANCE THEREOF IN PREPARING HIS BID. NO EXTRA CHARGES WILL BE CONSIDERED FOR COSTS RESULTING FROM FAILURE TO COMPLY WITH THE ABOVE.
- PROPOSALS TAKE INTO ACCOUNT ALL SUCH CONDITIONS AS MAY AFFECT CONTRACT WORK.
- DETAIL DRAWINGS AND INSTRUCTIONS:
  - IF WORK IS REQUIRED IN A MANNER THAT MAKES IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR DISCREPANCIES APPEAR AMONG CONTRACTUAL DOCUMENTS, REQUEST INTERPRETATION BEFORE PROCEEDING WITH WORK. IF G.C. FAILS TO MAKE SUCH A REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER.
  - SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS OR SPECIFICATIONS, G.C. IS DEEMED TO HAVE ESTIMATED ON MORE EXPENSIVE WAY OF DOING WORK, UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED WRITTEN DECISION BEFORE SUBMISSION OF PROPOSAL AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED. G.C. SHALL INFORM ARCHITECT IMMEDIATELY IF SUCH CONFLICT BETWEEN DRAWINGS OR SPECIFICATIONS OCCURS.
- CONNECTIONS:

ALL ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE; G.C. IS RESPONSIBLE FOR PROVIDING THEN ACCORDING TO THESE CONDITIONS. DRAWINGS SHOW ONLY SPECIAL REQUIREMENTS TO ASSIST G.C.; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
- GENERAL CONDITIONS:

G.C. SHALL COMPLY WITH THE AIA GENERAL CONDITIONS LATEST EDITION.
- SIGNS: PER LANDLORD & CODE
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE ADEQUACY, AND SAFETY OF ERECTION BRACING AND TEMPORARY SUPPORTS, ETC. STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO ORDERING MATERIALS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION. DEMOLITION, MEANS AND METHODS ON THE PROJECT. THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY OR NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS OF THE JOB.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AND PROJECT CONSULTANTS.
- ANY CHANGES TO THE DESIGN, AFTER ISSUANCE TO A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.
- DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL WORK WITH THE REQUIREMENTS OF THE SUPPLIERS FOR THE MATERIALS REPRESENTED BY SHOP DRAWINGS.
- INSTALL ADDRESS NUMBERS PER CITY AND EMS REQUIREMENTS.
- CONTRACTOR TO OBTAIN INDIVIDUAL TRADE PERMITS.
- PROVIDE FIRE TREATED BLOCKING OR AS REQUIRED BY THE LOCAL CODE OFFICIAL.
- CONNECT WATER, GAS, AND ELECTRIC LINES TO EXISTING UTILITIES IN ACCORDANCE WITH LOCAL CITY BUILDING CODES. DURING CONSTRUCTION, SITE MUST HAVE TEMPORARY WATER SERVICE WITH BACKFLOW PREVENTOR.
- DURING CONSTRUCTION, SITE MUST REMAIN CLEAN WITH GARBAGE DUMPSTER & TEMPORARY TOILET FACILITIES. FAILURE TO DO SO MAY RESULT IN TEMPORARY SUSPENSION OF WORK UNTIL VIOLATIONS ARE CORRECTED.
- THE ARCHITECT IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR OTHER JOB SITE CONDITIONS.
- ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, ETC., IN ACCORDANCE WITH INDUSTRY STANDARDS. THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH PUBLISHED
- THE SUBCONTRACTOR SHALL PROVIDE NECESSARY SUPERVISION TO COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND TRUE MEANING AND INTENT OF THESE SPECIFICATIONS EVEN THOUGH SUCH MENTION OF ARTICLES, MATERIALS, OPERATIONS, METHODS, QUALITY, QUALIFICATIONS OR CONDITIONS IS NOT EXPRESSED IN COMPLETE SENTENCES.
- WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH A REFERENCE SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- SCHEDULES OF WORK INCLUDED IN THESE SPECIFICATIONS ARE GIVEN FOR CONVENIENCE AND SHALL NOT BE CONSIDERED AS A COMPREHENSIVE LIST OF ITEMS NECESSARY TO COMPLETE THE WORK AS DESCRIBED AND SPECIFIED.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK COVERED HEREAFTER DESCRIBED WITH THE WORK OF OTHERS INVOLVED IN THIS PROJECT. THE NECESSARY INFORMATION AND THE ITEMS, MATERIAL, EQUIPMENT, ETC. SHALL BE DELIVERED WHEN REQUIRED IN ORDER TO PREVENT DELAY IN THE PROGRESS AND COMPLETION OF WORK.
- THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE OF PROCEDURE TO THE OWNER FOR APPROVAL.
- CITY APPROVED DRAWINGS SHALL BE KEPT IN A DRAWING BOX AND SHALL NOT BE USED BY WORKMEN. CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE GENERAL CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF DRAWINGS WITH REVISIONS, ADDENDA, AND CHANGE ORDERS, ON THE PREMISES AND ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT. THE GENERAL CONTRACTOR MUST TURN THIS DRAWING SET OVER TO THE OWNER AT THE COMPLETION OF THIS JOB.
- VERIFY AND CONFORM TO REQUIREMENTS OF UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE DRAWINGS AND SPECIFICATIONS. WHENEVER MATERIALS, EQUIPMENT, OR SYSTEMS ARE SPECIFIED OR INDICATED BY PROPRIETARY NAME OR MANUFACTURER, THE MATERIALS, EQUIPMENT, SYSTEMS SO SPECIFIED OR INDICATED SHALL BE DEEMED TO BE FOLLOWED BY THE WORDS "OR EQUAL" EXCEPT IN THOSE CASES WHERE ITEMS SPECIFIED BY NAME ARE MARKED "NO SUBSTITUTE". THE SUBCONTRACTOR MAY, AT HIS OPTION, SUBMIT FOR A DIFFERENT MANUFACTURER AS SPECIFIED AND SUCH MUST BE REQUESTED IN THE GENERAL CONTRACTOR'S APPROVAL. EQUIPMENT, MATERIALS OR SYSTEMS OF WRITING TO GENERAL CONTRACTOR A MINIMUM OF FIVE (5) WORKING DAYS PRIOR TO NECESSARY APPROVAL DATE. NO SUBSTITUTIONS SHALL BE PERMITTED UNLESS THE APPROVAL IS GRANTED.
- THE SUBCONTRACTOR SHALL PROVIDE EVIDENCE OF QUALIFICATIONS TO THE GENERAL CONTRACTOR AND SHALL EMPLOY ONLY SKILLED, QUALIFIED PERSONNEL ON THE JOB.
- WORK IS TO BE DONE IN THE BEST WORKMANLIKE MANNER AND SHALL HAVE TO MEET WITH THE APPROVAL OF THE OWNER AND GENERAL CONTRACTOR.
- WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION, UNLESS OTHERWISE SPECIFIED, AND SHALL BE SO STATED IN SUBCONTRACTOR'S WRITTEN PROPOSAL AND AGREEMENT. REPAIRS, CORRECTIONS, DISCREPANCIES, ETC. MUST BE MADE WITHOUT ADDITIONAL COST TO THE OWNER, AND WITHIN FIVE (5) DAYS AFTER NOTICE IS GIVEN.
- GENERAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE BUILDING AND SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.
- DEBRIS SHALL BE REMOVED FROM THE PREMISES AND THE PREMISE SHALL BE KEPT IN A CLEAN (BROOM) CONDITION.
- GENERAL CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. SUBCONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR /OWNER IMMEDIATELY OF DISCREPANCIES.
- ITEMS MARKED "N.I.C." ARE NOT PART OF THIS CONTRACT. ITEMS NOTED AS OWNER SUPPLIED AND SUBCONTRACTOR INSTALLED, SHALL BE SUPPLIED BY THE OWNER BUT WILL BE INSTALLED BY THE SUBCONTRACTOR.
- WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.

## IBC GENERAL NOTES

- PROVIDE FIRE BLOCKING & DRAFTSTOPPING IN COMBUSTIBLE CONCEALED LOCATIONS. FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALL, FURRED SPACES AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL.
- ALL FINISHES SHALL BE ATTACHED DIRECT TO FIRE RATED ASSEMBLIES NOT EXCEEDING 1.75" IN THICKNESS PROVIDE FIREBLOCKING AT A MAXIMUM OF 8" IN ANY DIRECTION.
- DECORATIVE MATERIALS SHALL BE FLAME RESISTANT IN ACCORDANCE TO SECTION 805.2 IBC AND NFPA 701 OR NON-COMBUSTIBLE.
- INTERIOR WALL & CEILING FINISHES SHALL BE AS REQUIRED BY TABLE 803.4 IBC.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW & APPROVAL PRIOR TO INSTALLATION PLANS & SPECIFICATIONS OF FIRE ALARM DETECTION SYSTEM AS REQUIRED BY SECTION 907.1 OF THE IBC.

## ENVELOPE MANDATORY MEASURES

- ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF THE IBC AND IEC.
- ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR SEALED.
- SITE CONSTRUCTED DOORS AND WINDOWS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED.
- MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE AIR INFILTRATION RATES CERTIFIED BY THE MANUFACTURER.

Revisions:	Description:	Date:
Mark:	0 ISSUED FOR PERMIT	JUNE 02/2018
OWNER/DEVELOPER: DANIEL CHANG 4922 CHESTNUT STREET, BELLAIRE, TX 77401 PHONE: (713) 449-9221 CITY OF BELLAIRE		
COVER SHEET		
Drawn by:	N.N.	
Checked by:	CIVE	
Date of Issue:	07/05/2018	
Project Number:	AE-J18-5540	
Sheet Number:	G-000	

CAR WASH AT BELLAIRE  
5235 BELLAIRE BLVD.  
BELLAIRE, TX 77401

2500 W. LOOP S. F.W.Y. SUITE 530  
HOUSTON, TEXAS 77027  
PH: 281-870-8727 / FX: 281-870-8728  
W W W . C I V E . C O M  
TEXAS FRM # 17342

07/05/2018

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



## CODE ANALYSIS

ABV	anchor bolt	LVR	louver
ACC	above	MAS	masonry
A/C	air conditioning	MAT	material (s)
ACC	access	MAX	maximum
ACT	acoustical tile	MB	machine bolt
AD	area drain	MFR	manufacture (er)
ADJ	adjacent	MH	manhole
AGG	aggregate	MECH	mechanic (al)
AFF	above finished floor	MET	metal
ALUM	aluminum	MIN	minimum
ALT	alternate	MISC	miscellaneous
AP	access panel	MO	masonry opening
APPROX	approximate	N	north
ARCH	architect (ural)	NAT	natural
ASPH	asphalt	NIC	not in contract
BM	bench mark, beam	NTS	not to scale
BLDG	building	OA	overall
BLK	block	OC	on center (s)
BLKG	blocking	OD	outside dimension
BO	bottom of	OH	overhead
BOT	bottom	O,H	opposite hand
BPL	bearing plate	OJ	open web joist
BRG	bearing	OPG	opening
BUR	built-up roofing	OPH	opposite hand
CAB	cabinet	OPP	opposite
CB	catch basin	PAR	parallel
CEM	cement	PB	panic bar
CER	ceramic	PC	pipe column
CI	cast iron	PED	pedestal
CIR	circle	PERF	perforate (d)
CLG	ceiling	PFB	prefabricate (d)
CLR	clear (ance)	PG	plate glass
CMU	concrete masonry unit	P/L	plastic laminate
COL	column	PL	plate, property line
CONC	concrete	PLAS	plaster
CONST	construction	PLYWD	plywood
CONT	continuous or continue	PNL	panel
CONTR	contract (or)	PTN	partition
CPT	carpet (ed)	PSF	pounds per square foot
CT	ceramic tile	PSI	pounds per square inch
DEM	demolish, demolition	PT	pressure treated
DEP	depressed	PVMT	pavement
DEL	detail	QT	quarry tile
DF	douglas fir	RAD	radius
DIAG	diagonal	REF	reference
DIAM	diameter	REFR	refrigerator
DIM	dimension	REG	register
DL	dead load	REINF	reinforce (d), (ing)
DN	down	REQ'D	required
DPR	dispenser	RES	resilient
DR	door	RET	retaining
DS	downspout	RFL	reflect (ed), (ive), (or)
E	east	RCP	reinforced concrete pipe, reflected ceiling plan
EA	each	RM	room
EB	expansion bolt	RO	rough opening
ELEC	electric (al)	S	south
ELEV	elevation	SC	solid core
EMP	employee	SCH	schedule
ENCL	enclosure (ure)	SD	storm drain
EP	electrical panelboard	SEC	section
EQ	equal	SF	square feet
EQUIP	equipment	SHT	sheet
EXH	eshhaust	SHTH	sheathing
EXIST	existing	SIM	similar
EXP	exposed	SPL	special
EXT	exterior	SPEC	specification (s)
FD	floor drain	SQ	square
FE	fire extinguisher	S/S	stainless steel
FF	finish floor	SS	service sink
FIN	finsh (ed)	STA	station
FOC	face of concrete	STD	standard
FOM	face of masonry	STL	steel
FOS	face of studs	STRUCT	structural
FR	frame (d), (ing)	SUS	suspended
FS	floor sink	SYM	symmeiry (ical)
FSE	food service equip.	SYS	system
FTG	footing	TEL	telephone
FUR	furred (ing)	TG	tempered glass
GA	gage, guage	T&G	tongue and groove
GD	grade, grading	TKS	tackstrip
GC	general contract (or)	TME	to match existing
GI	galvanized iron	TO	top of
GL	glass, glazing	TS	top of sheathing
GYP, BD,	gypsum board	TSL	top of slab
HB	hose bibb	TST	top of steel
HC	hollow core	TW	top of wall
HDR	header	TYP	typical
HM	hollow metal	UC	undercut
HORZ	horizontal	UR	urinal
HT	height	VB	vapor barrier, vinyl base
HVAC	heating/ventilating/air conditioning	VERT	vertical
HWD	hardwood	VJ	v-joint (ed)
INCL	include (d), (ing)	VT	vinyl tile
ID	inside diameter	W	west
INSUL	insulation	W/	with
INT	interior	WC	water closet
J	joist	WD	wood
JT	joint	WG	wired glass
KPL	kickplate	WH	wall hung
LAD	ladder	WIN	window
LAM	laminata (d)	WM	wire mess
LAV	lavatory	WO	without
LB	lag bolt	WP	waterproofing
LL	live load	WR	water resistant
LOC	location	WSCT	wainscot
LTL	lintel		

SYMBOL	DESCRIPTION
	PARTITION WALLS RE: PARTITION TYPES FOR DETAILS.
	SOUND INSULATION
	EXISTING WALL TO BE DEMOLISHED
	STOREFRONT OR WINDOW
	ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD
	LEVEL TAG
	DOOR TAGS
	WINDOW TAG
	WALL TYPE
	KEY NOTE
	GENERAL KEY NOTE TAG
	EXTERIOR OR INTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	SECTION TAG
ROOM NAME ROOM NAME 2 <div style="border: 1px solid black; padding: 2px; display: inline-block;">             ROOM #              0000 SF           </div>	ROOM TAG
	EQUIPMENT AND ACCESSORY TAGS
	CALL OUT TAG
	REVISION DELTA
	STRUCTURAL COLUMNS' GRID LINE
	PLAN LEVEL TAG
	ELEVATION & SECTION TAG

APPLICABLE CODES :

- 2012 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2012 INTERNATIONAL MECHANICAL CODE (IMC)
- 2012 INTERNATIONAL PLUMBING CODE (IPC)
- 2017 NATIONAL ELECTRICAL CODE (NEC) WITH LOCAL AMENDMENTS (COMMERCIAL & RESIDENTIAL)
- 2012 INTERNATIONAL FIRE CODE (IFC) WITH ADOPTED 2012 TEXAS ACCESSIBILITY STANDARDS

USE & OCCUPANCY CLASSIFICATION:  
( REFER TO IBC SECTION 302 )  
B

TYPE OF CONSTRUCTION:  
( REFER TO IBC SECTION 602 )  
II B (SPRINKLERED)

ALLOWABLE HEIGHTS & BUILDING AREAS :  
( REFER TO IBC TABLE 503 )

3 STORY - 23,000 S.F.

BUILDING AREA:  
TOTAL: 620  
SINGLE STOR

OCCUPANCY LOAD:  
( REFER TO IBC SECTION 1004 & TABLE 1004.1.2 )  
TOTAL OCCUPANCY: 7 OCCUPANTS

- OFFICE: 620 / 100 GROSS = 7 OCCUPANTS

**PARKING ANALYSIS:**  
CLINIC: 3.5 PARKING SPACES FOR EVERY 1,000 S.F.

<b>PARKING ANALYSIS</b>	
<b>HAND CAR WASH:</b>	
1.0 PARKING SPACE PER BAY OR STALL	
3 BAYS X 1 P.S.	= 3 P.S.
<b>TOTAL PARKING REQ.</b>	<b>= 3 P.S.</b>

TOTAL PARKING REQU.	= 3 P.S.
TOTAL PARKING PROV.	= 5 P.S.

MEANS OF EGRESS SIZING :  
( REFER TO IBC SECTION 1005.3 )

OTHER EGRESS COMPONENTS:  
# OF OCCUPANTS X 0.20 = CAPACITY IN INCHES  
7 x 0.20 = 1.4 INCHES (REQUIRED)

# OF DOORS x WIDTH IN INCHES = TOTAL IN INCHES (PROVIDED)  
(36 x 1) = 36 INCHES (PROVIDED)

**OWNER / DEVELOPER**  
DANIEL CHANG  
4922 CHESTNUT STREET,  
BELLAIRE, TX 77401  
EMAIL: DAN.CHANG@MAC.COM  
PHONE: (713) 449-9221

**Governmental Jurisdiction**  
CITY OF BELLAIRE

Revisions:		Date:
Mark:	Description:	
0	ISSUED FOR PERMIT	JUNE 18/2018

<b>CODE ANALYSIS &amp; GRAPHIC LEGEND</b>	
Drawn by:	N.N.
Checked by:	CIVE
Date of Issue:	07/05/2018
Project Number:	AE-J18-5540
Sheet Number:	

G-001





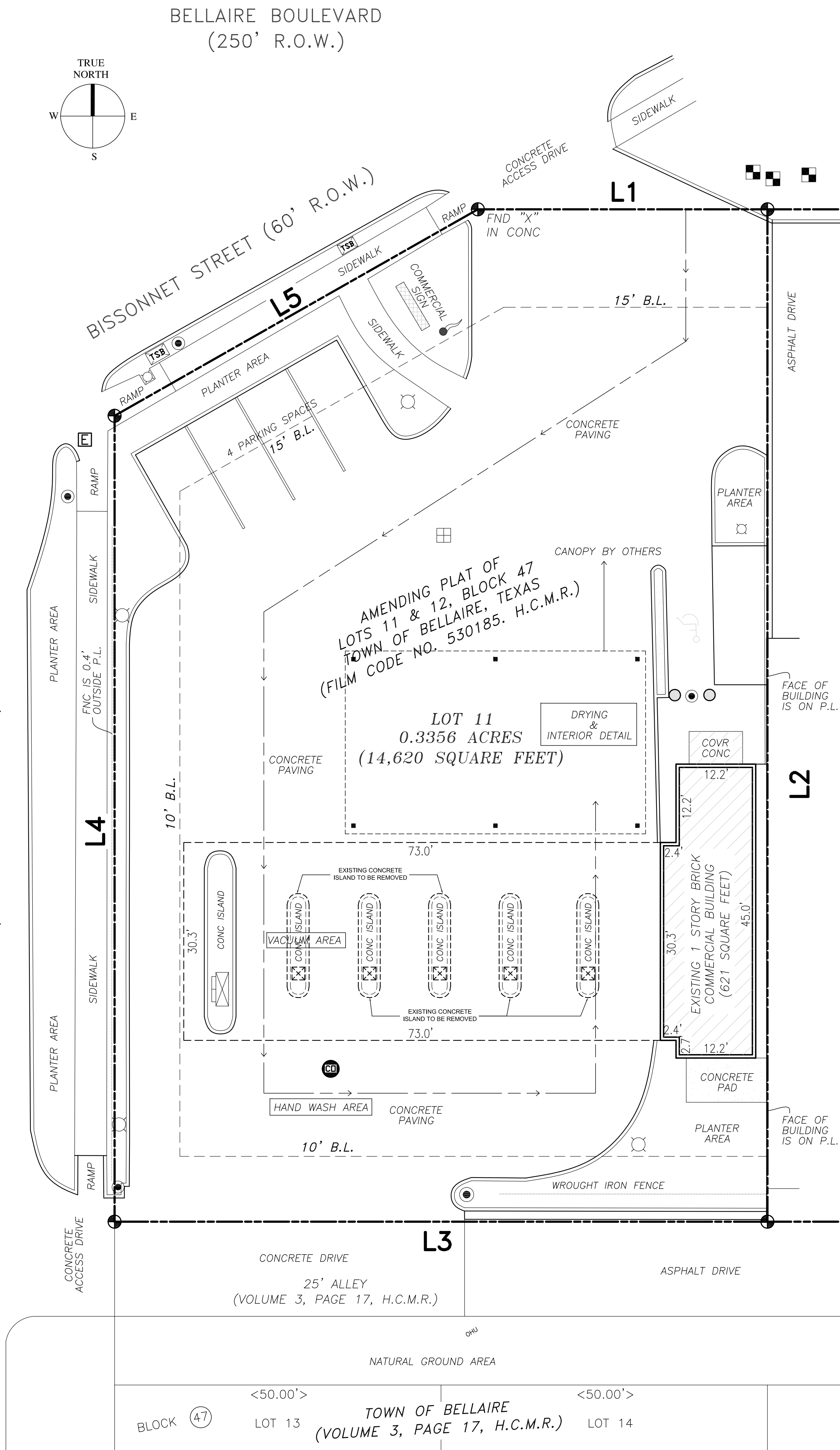






CONSTRUCTION OF THIS PLAN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE INFORMATION OBTAINED FROM THE FIELD SURVEY. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF ANY OBSTRUCTIONS TO THE PROPOSED CONSTRUCTION. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF ANY OBSTRUCTIONS TO THE PROPOSED CONSTRUCTION. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND NO EVIDENCE OF ANY OBSTRUCTIONS TO THE PROPOSED CONSTRUCTION.

FERRIS STREET (60' R.O.W.)  
(a.k.a. SIXTH STREET)

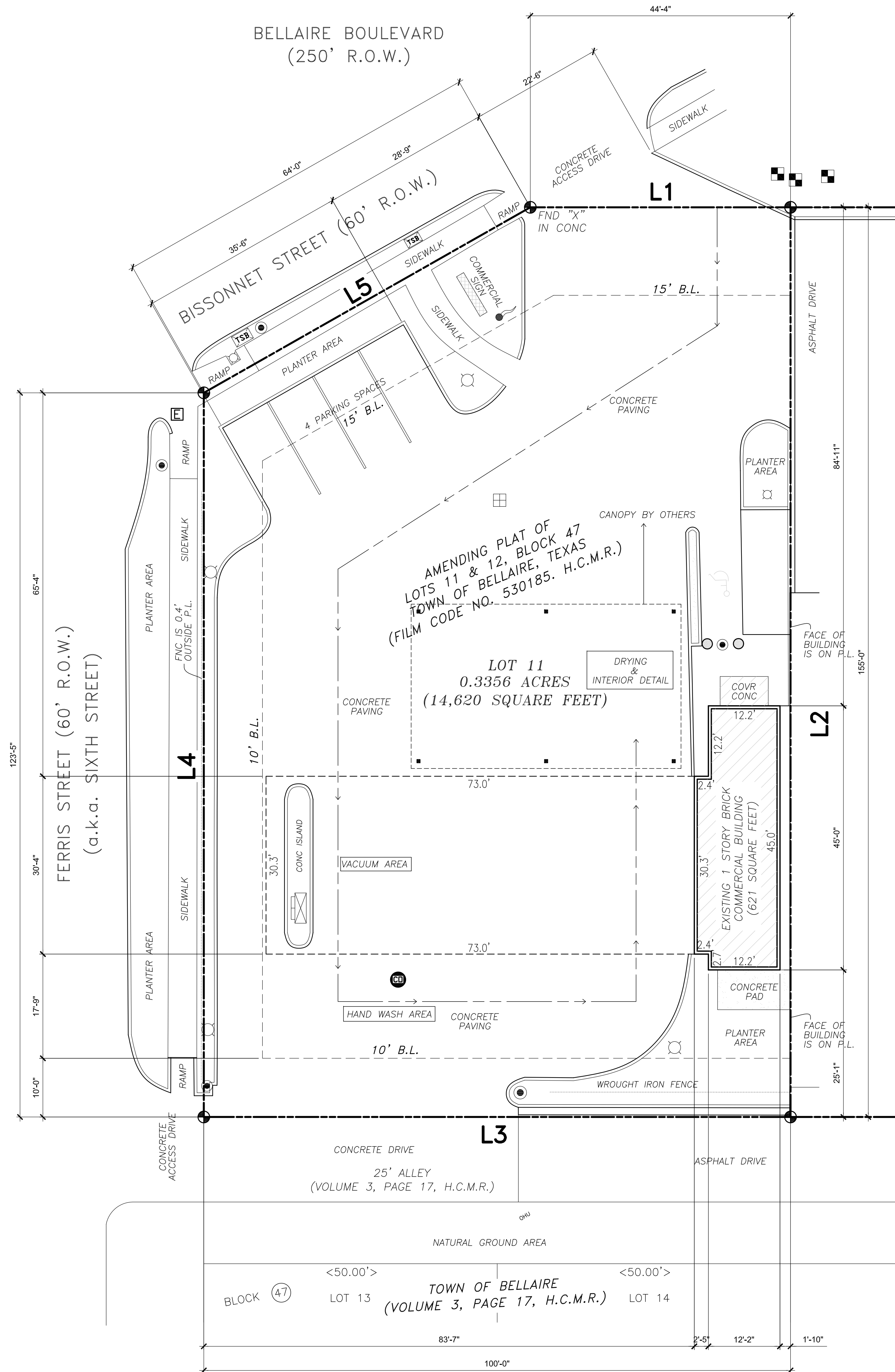


DEMOLITION SITE PLAN

SCALE 3/32" = 1'-0"

1

SITE PLAN



SCALE 3/32" = 1'-0"

2

PARKING ANALYSIS

PARKING ANALYSIS	
HAND CAR WASH:	
1.0 PARKING SPACE PER BAY OR STALL	
3 BAYS X 1 P.S.	= 3 P.S.
TOTAL PARKING REQ.	= 3 P.S.
TOTAL PARKING REQU. = 3 P.S.	
TOTAL PARKING PROV. = 5 P.S.	

OWNER/DEVELOPER	
DANIEL CHANG	
4602 CHESTNUT STREET,	
BELLARE, TEXAS 77027	
PHONE: (713) 448-8221	
GOVERNMENTAL JURISDICTION	
CITY OF BELLAIRE	
Revisions:	Date:
Mark:	0
Description:	ISSUED FOR PERMIT
Drawn by:	N.N.
Checked by:	CRVE
Date of Issue:	07/05/2018
Project Number:	AE-J18-5540
Sheet Number:	

A-101

CAR WASH AT BELLAIRE  
5235 BELLAIRE BLVD.  
BELLAIRE, TX 77401

07/05/2018

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)

2500 W. LOOP S. F.W.Y. SUITE 530  
HOUSTON, TEXAS 77027  
PH: 281-870-8727 / FX: 281-870-8728  
W W . C I V E . C O M  
TEXAS PERM # 17342

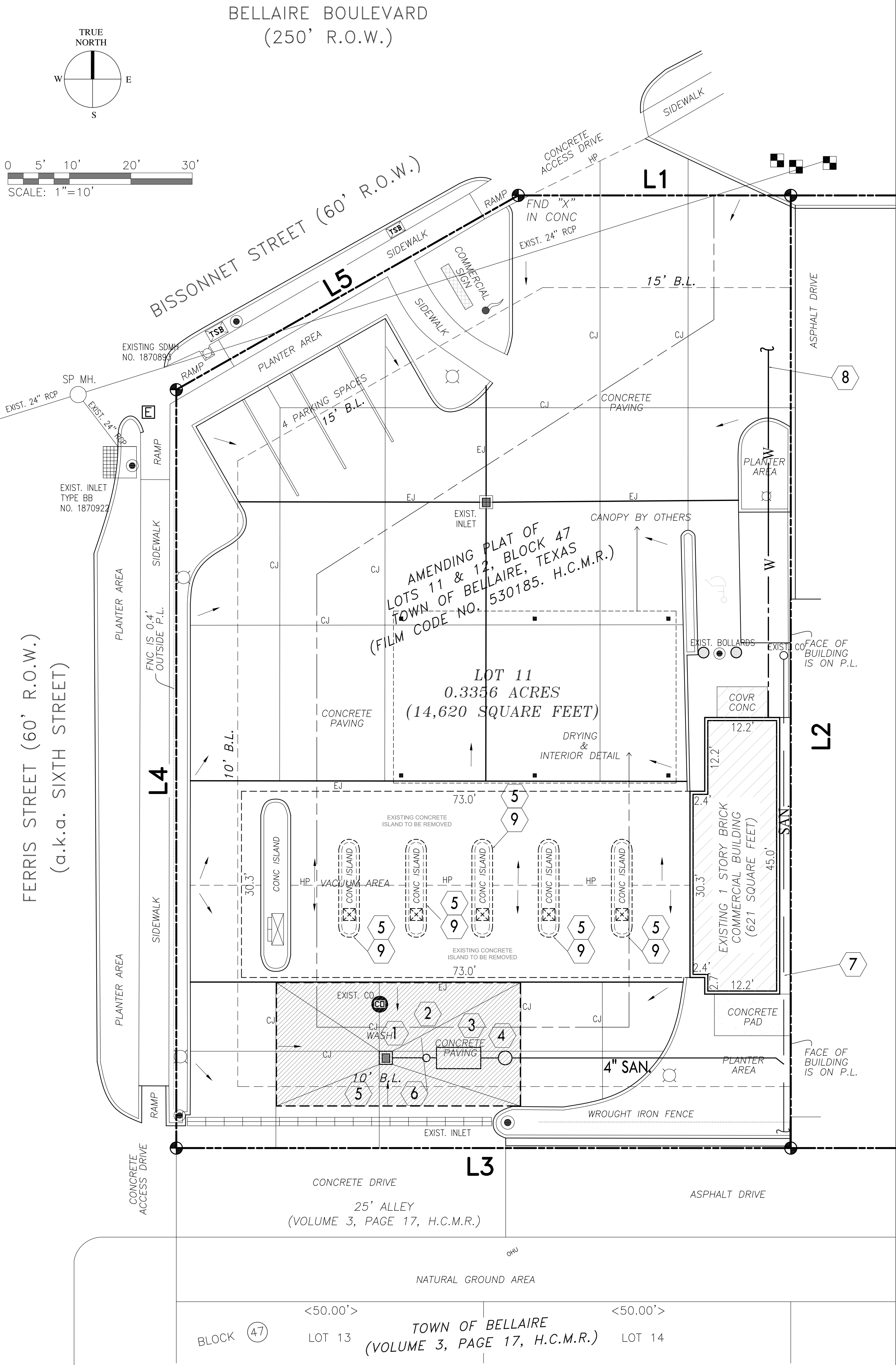
9.A.a







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LEGEND

- DIRECTION OF DRAINAGE FLOW
- EXIST. PAVING SAWED CONTROL JOINT (CJ)
- EXIST. PAVING EXPANSION JOINT (EJ)
- EXIST. DRAINAGE HIGH POINT (HP)

KEYED NOTES

- PROP. GRATE INLET
- PROP. CLEAN OUT
- PROP. 500 GAL. SAND OIL INTERCEPTOR PARK MODEL NO. SOCMP-500
- PROP. SAMPLE WELL
- SAW CUT & REMOVE EXIST. CONCRETE PAVEMENT
- PROP. 6" CONCRETE PAVEMENT. GRADE PAVEMENT TO PROP. INLET. INLET TO BE SET AT 0.2' BELOW LOWEST TOP OF SLAB ELEVATION AT SAW CUT
- EXIST. 4" SAN. SEWER
- TO EXIST. WATER SERVICE METER
- NEW 6" CONCRETE PAVEMENT AT CONCRETE ISLAND

SANITARY SEWERS

- SANITARY SEWER PIPE TO BE SCH. 40 P.V.C. PIPE MEETING ASTM SPECIFICATIONS D3034 WITH RUBBER GASKET JOINTS UNLESS OTHERWISE NOTED.
- ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF HOUSTON STANDARDS AND SHALL BE SUBJECT TO A STANDARD EXFILTRATION TEST. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT.
- SANITARY SEWERS WILL HAVE CLASS "A" BEDDING IN ACCORDANCE WITH CITY OF HOUSTON.
- ALL SANITARY SEWERS CROSSING ABOVE OR BELOW WATER LINES WITH 6 INCHES TO 9 FEET CLEARANCE SHALL HAVE A 20' JOINT OF 150 P.S.I. AWWA C-900 SDR-18 P.V.C. SANITARY SEWER PIPE CENTERED ON WATER LINE, EXCEPT WHERE DUCTILE IRON PIPE IS USED.
- SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3"-6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORMWATER DRAINAGE AWAY FROM MANHOLE RIM.
- DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, HAVING A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED AS PER TEXAS REGISTER SECTION 317.2 LATEST AMENDMENT AND WITHOUT MECHANICAL PULLING DEVICES.
- INFILTRATION/EXFILTRATION TEST: EITHER OF THE FOLLOWING INFILTRATION/EXFILTRATION TESTS SHALL BE PERFORMED WITHIN THE SPECIFIED TOLERANCES ON ALL GRAVITY SEWERS. WATER TEST: TOTAL LEAKAGE SHALL NOT EXCEED 200 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOURS AT A MINIMUM TEST HEAD OF 2 FEET. LOW - PRESSURE AIR TEST: PERFORM TEST ACCORDING TO UNI-B-6-90 OR OTHER APPROPRIATE PROCEDURES.
- PRIVATE SAN. SWRS. ARE TO BE PRIVATELY OWNED, OPERATED AND MAINTAINED BY SERVICED PROPERTY OWNER.

PAVING SPECIFICATIONS: TECHNICAL STANDARDS

6" AS INDICATED ON PLANS, THICK REINFORCEMENT POURED IN PLACE CONCRETE PAVING SURFACE WITH LONGITUDINAL COLD KEY JOINTS 20' O.C. MAX. W/ LATERAL WET PRESSED CONTROL JOINTS 20' O.C. MAX. OVER 95% STANDARD PROCTOR COMPACTED 6" SUBSOIL BASE OR AS RECOMMENDED BY SOIL ENGINEER. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM AT 28 DAYS. ALL CONCRETE SHALL BE PRODUCED WITH A MINIMUM CEMENT CONTENT OF 520 LBS. PER CUBIC YARD (5.5 U.S. BAGS). ALL CONCRETE SHALL BE PRODUCED WITH AN ENTRAINED AIR CONTENT OF 4% BY VOLUME. ALL CONCRETE SHALL HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.53, (6.0 GAL/BAG). THE MAXIMUM ALLOWABLE CONCRETE SLUMP SHALL BE 4 INCHES. PARKING AND DRIVE AREAS TO BE REINFORCED WITH #4 BARS AT 18" O.C. EACH DIRECTION.

- OWNER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TEST PROVE CORRECT, PER ABOVE REFERENCED SPECIFICATIONS, TEST WILL BE AT THE EXPENSE OF THE OWNER. OTHERWISE, CONCRETE CONTRACTOR SHALL BE CHARGED FOR TEST AND SHALL BE LIABLE FOR ANY AND/OR REPLACEMENT OF THE PAVING AREA.
- CONCRETE WALKS TO CONSIST OF 4 INCHES OF 3000 PSI CONCRETE REINFORCED WITH 6X6X6 WIRE MESH OVER 2" SAND LEVELING BED (REFER TO NOTES ON SUBGRADE PREPARATION).
- CONCRETE WALK TOOLED CONTROL JOINTS TO OCCUR AT 5'-0" O.C.
- CONTRACTOR TO USE NO 4. DOWELS AT 18" O.C. WITH 7" MINIMUM EMBEDMENT TO CONNECT TO EXISTING CONCRETE PAVEMENT.
- CONTRACTOR TO GRADE THE CONCRETE TO PROPOSED INLET SET 0.2' BELOW LOWEST TOP OF SLAB SAN CUT ELEVATION.

CITY OF BELLAIRE NOTES:

- FILL SHALL BE LIMITED TO NO MORE THAN NEEDED TO CREATE A MAXIMUM OF ONE PERCENT (1.0%) SLOPE TO THE EXISTING STREET. TOP OF CURB, EDGE OF ROAD (IF NO CURB EXISTING DITCH HIGH BANK AND IN NO CASE MORE THE EIGHT (8) INCHES ABL THE EXISTING GRADE OF THE LOT PRIOR TO DEVELOPMENT.
- NO MORE THAN (4) INCHES OF FILL SHALL BE PLACED ON THE LOT OR RETAINING WALLS SHALL BE CONSTRUCTED IN AREAS WHERE FILL EXCEEDS FOUR (4) INCHES INCLUDING MATERIAL OR RETAINING WALL.
- POSITIVE DRAINAGE TO A CITY DRAINAGE FACILITY MUST BE MAINTAINED AT ALL TIMES. VIOLATION OF DRAINAGE REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION ORDINANCE NO. 05-024 COULD RESULT IN A FINE OF \$500.00 EACH DAY THE VIOLATION IS COMMITTED OR CONTINUES.
- ALL SAW CUTS SHALL BE FULL DEPTH WITHIN THE CITY OF BELLAIRE RIGHT-OF-WAY.
- THE ENGINEER HEREBY CERTIFIES THAT ALL PROPOSED IMPROVEMENTS ARE IN ACCORDANCE WITH ALL CITY OF BELLAIRE DRAINAGE ORDINANCES, CHAPTER 9-BUILDINGS, AS CURRENTLY AMENDED.
- CONTRACTOR SHALL CONTACT ALL PERTINENT UTILITY COMPANIES 48 HOURS (MINIMUM) PRIOR TO EXCAVATION IN AREA THE LONE STAR NOTIFICATION CENTER MAY BE CONTACTED FOR CERTAIN UTILITIES AT 713-223-4567, 48 HOURS BEFORE BEGINNING WORK. THE NOTIFICATION NUMBER SHALL BE KEPT AT THE SITE OR THE FIELD OFFICE AT ALL TIMES. REVIEW THE NOTIFICATION PERIODICALLY AS REQUIRED.
- CALL CITY OF BELLAIRE PUBLIC WORKS DEPARTMENT @ 713-662-8150 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION WITH THE CITY'S RIGHT-OF-WAY.
- ALL DRAINAGE TO CITY FACILITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE CITY AT NO COST TO THE CITY.

9.A.a

CIVE

CAR WASH AT BELLAIRE

5235 BELLAIRE BLVD.

BELLAIRE, TX 77401

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)

OWNER/DEVELOPER

DANIEL CHANG

402 CHESTNUT STREET,

IRVING, TEXAS 75039

PHONE: (713) 444-9221

Governmental Jurisdiction

CITY OF BELLAIRE

Revisions:

Mark:

0

Description:

ISSUED FOR PERMIT

Date:

JUNE 2024

CIVIL PLAN & NOTES

Drawn by:

N.N.

Checked by:

CIVE

Date of Issue:

07/05/2018

Project Number:

AE-J18-5540

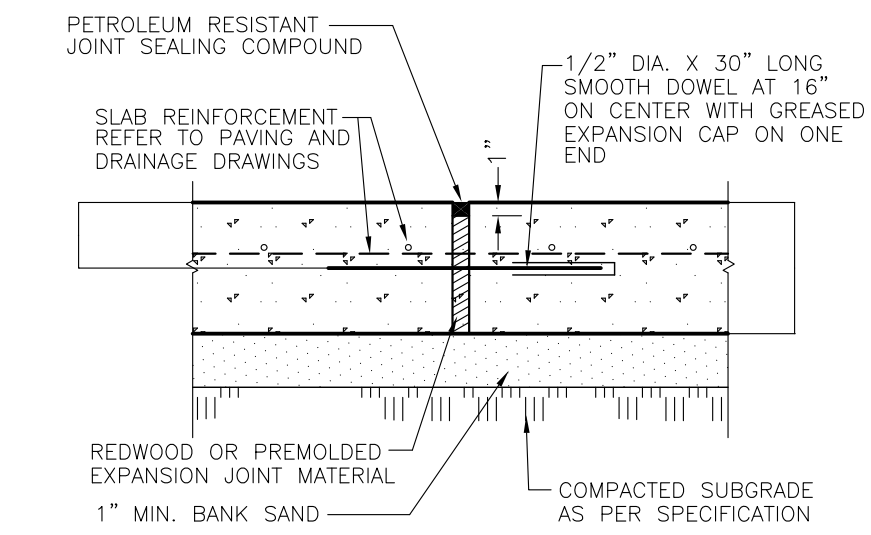
Sheet Number:

C-1

Packet Pg. 83

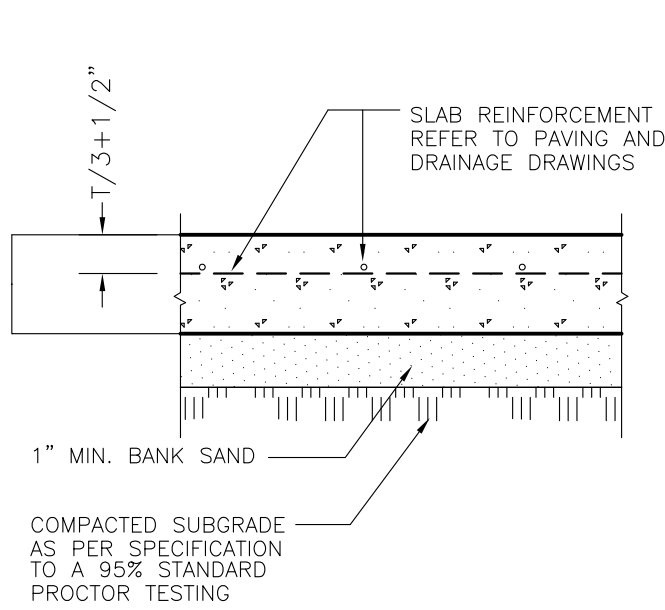


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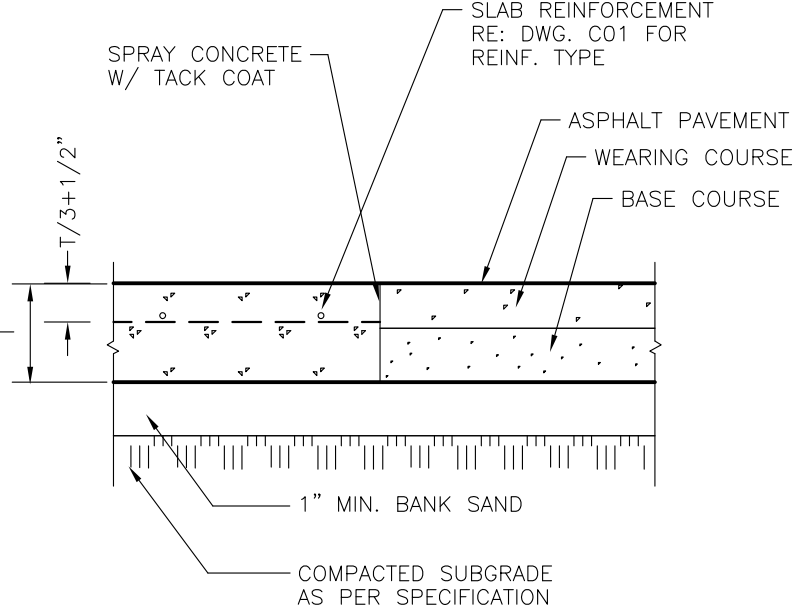
NOTE:  
PROVIDE EXPANSION JOINTS AT 60' ON CENTER  
EACH WAY UNLESS NOTED OTHERWISE

#### 1 DOWELLED EXPANSION JOINT

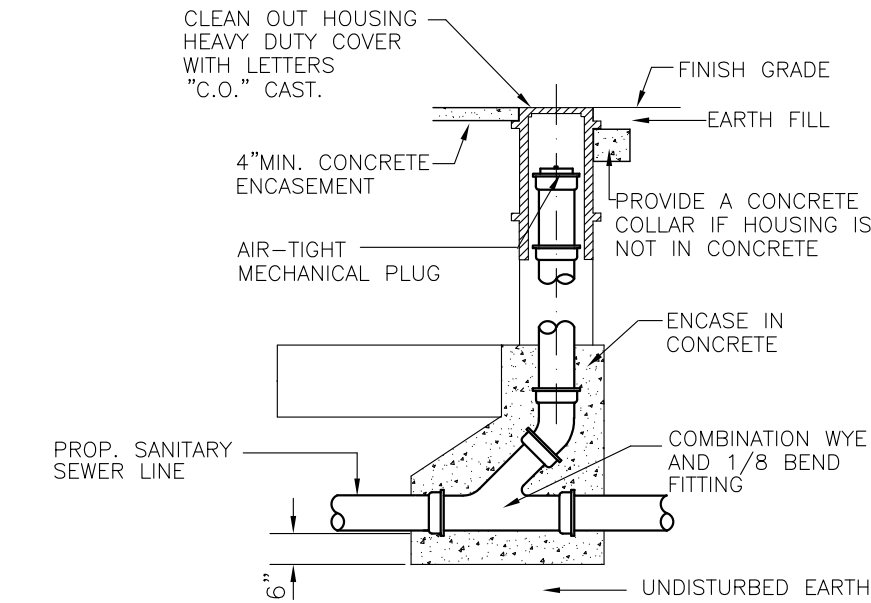


NOTES:  
CONCRETE: MIN. 3000 PSI AT 28 DAYS  
REINFORCEMENT: ASTM A-615, GR-40,  
UNLESS NOTED OTHERWISE  
RE:

#### 2 CONCRETE PAVEMENT

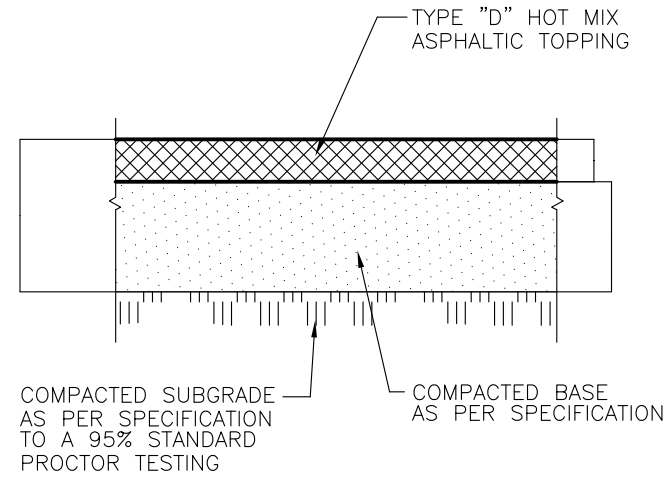


#### 3 CONCRETE/ASPHALT CONNECTION



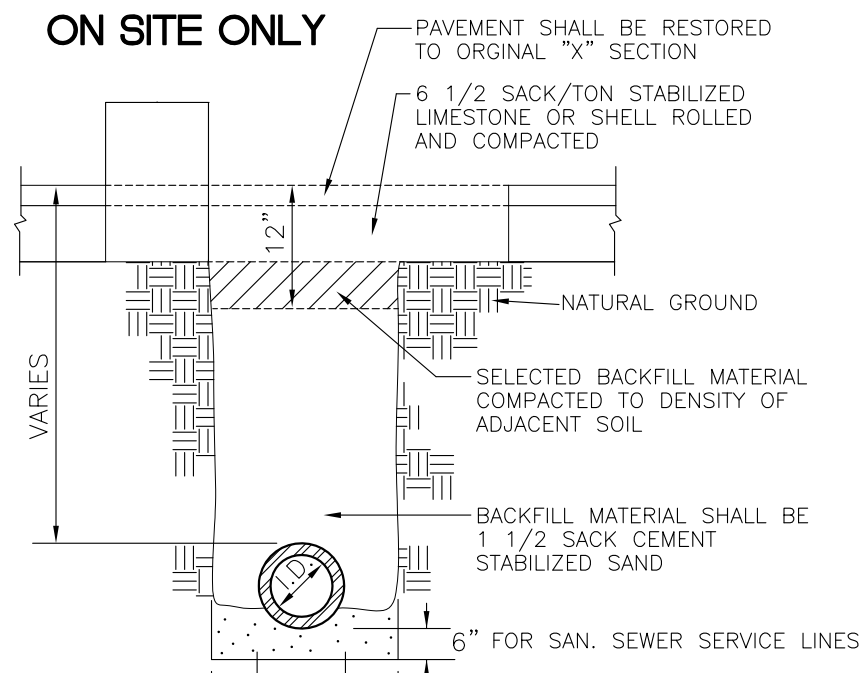
CLEANOUT SERIES 8310 MADE BY JOSAM MANUFACTURING CO., OR  
APPROVED EQUAL WITH SCORIATED COVER AND BRASS INTERNAL PLUG.  
TYPE 8315 (FOR 5\"/>

#### 4 S. S. CLEANOUT (IN LINE)



T, T1, T2, = THICKNESS AS SPECIFIED  
REFER TO SITEPLAN

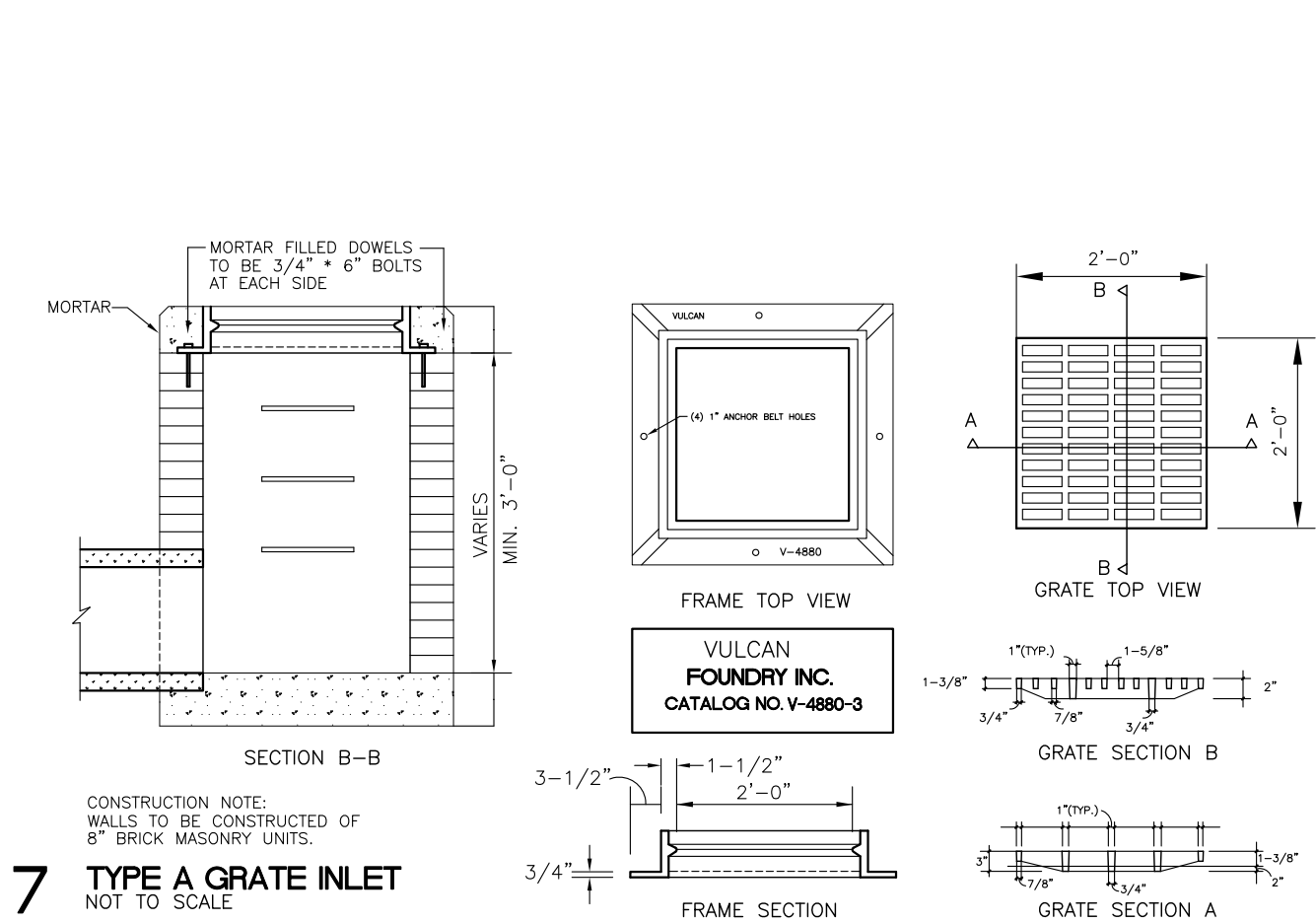
#### 5 ASPHALT PAVEMENT



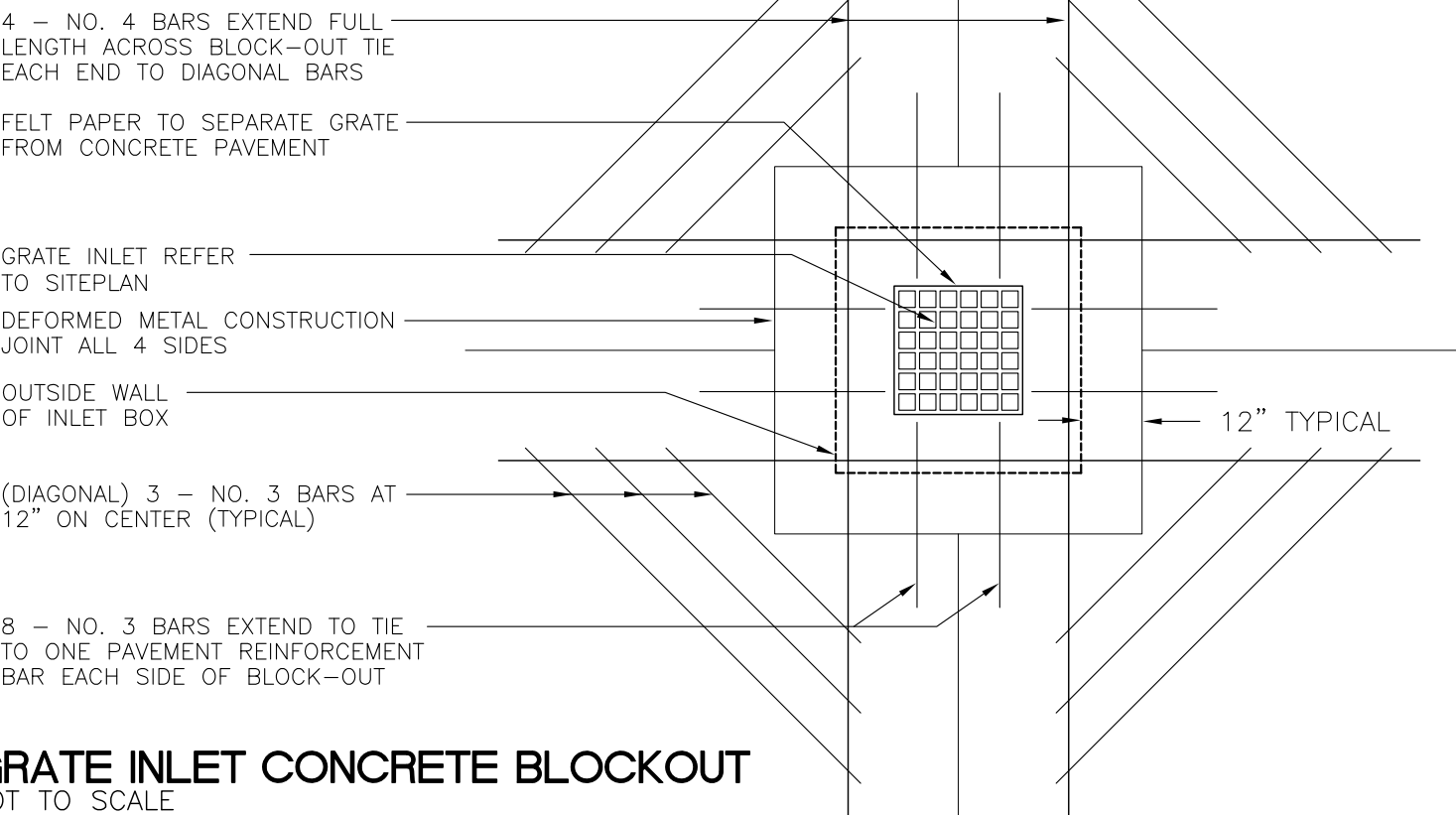
O.D. = OUTSIDE DIAMETER OF PIPE  
I.D. = INSIDE DIAMETER OF PIPE

#### 6 TYPICAL UTILITY TRENCH UNDER PAVEMENT

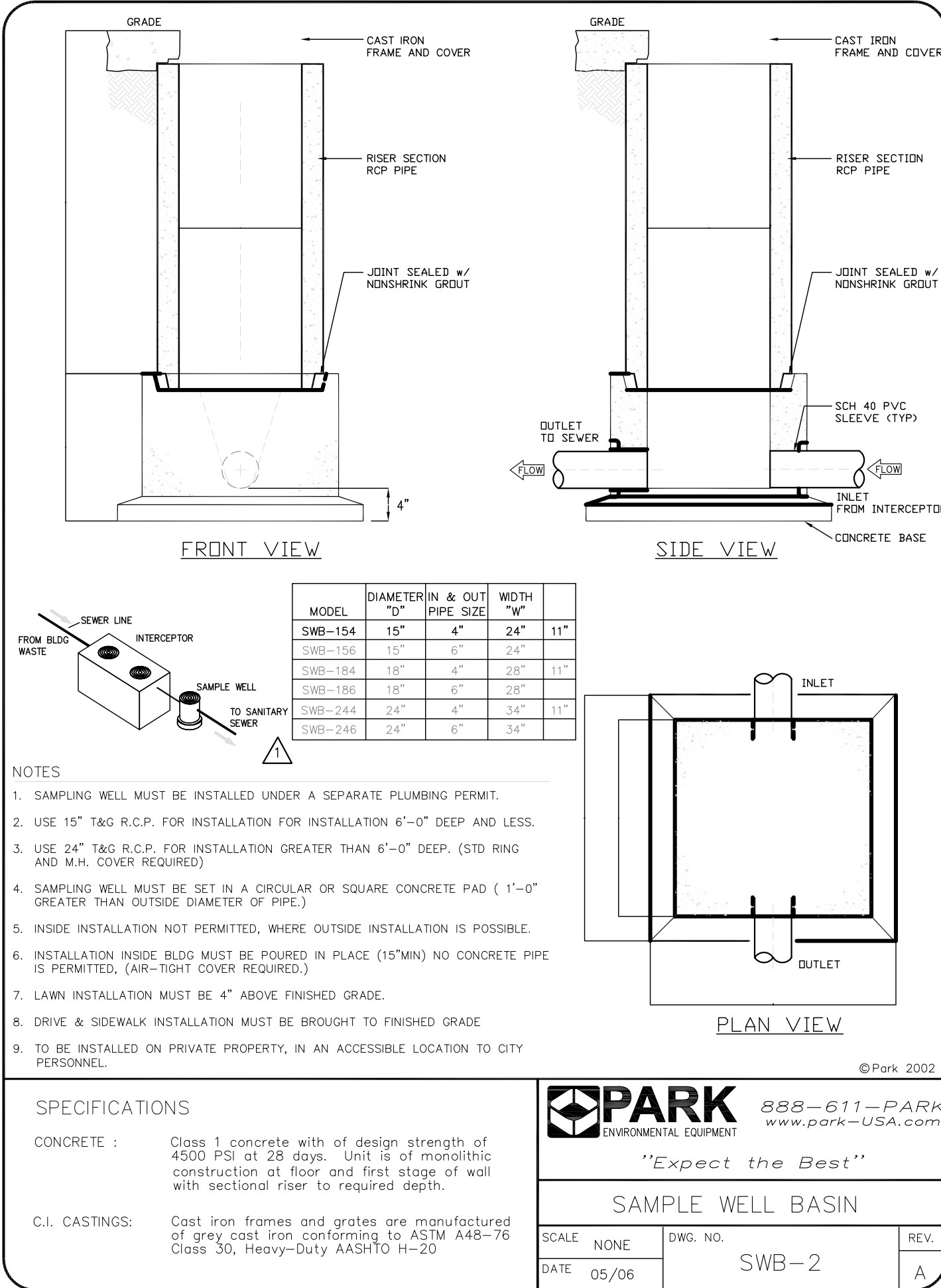
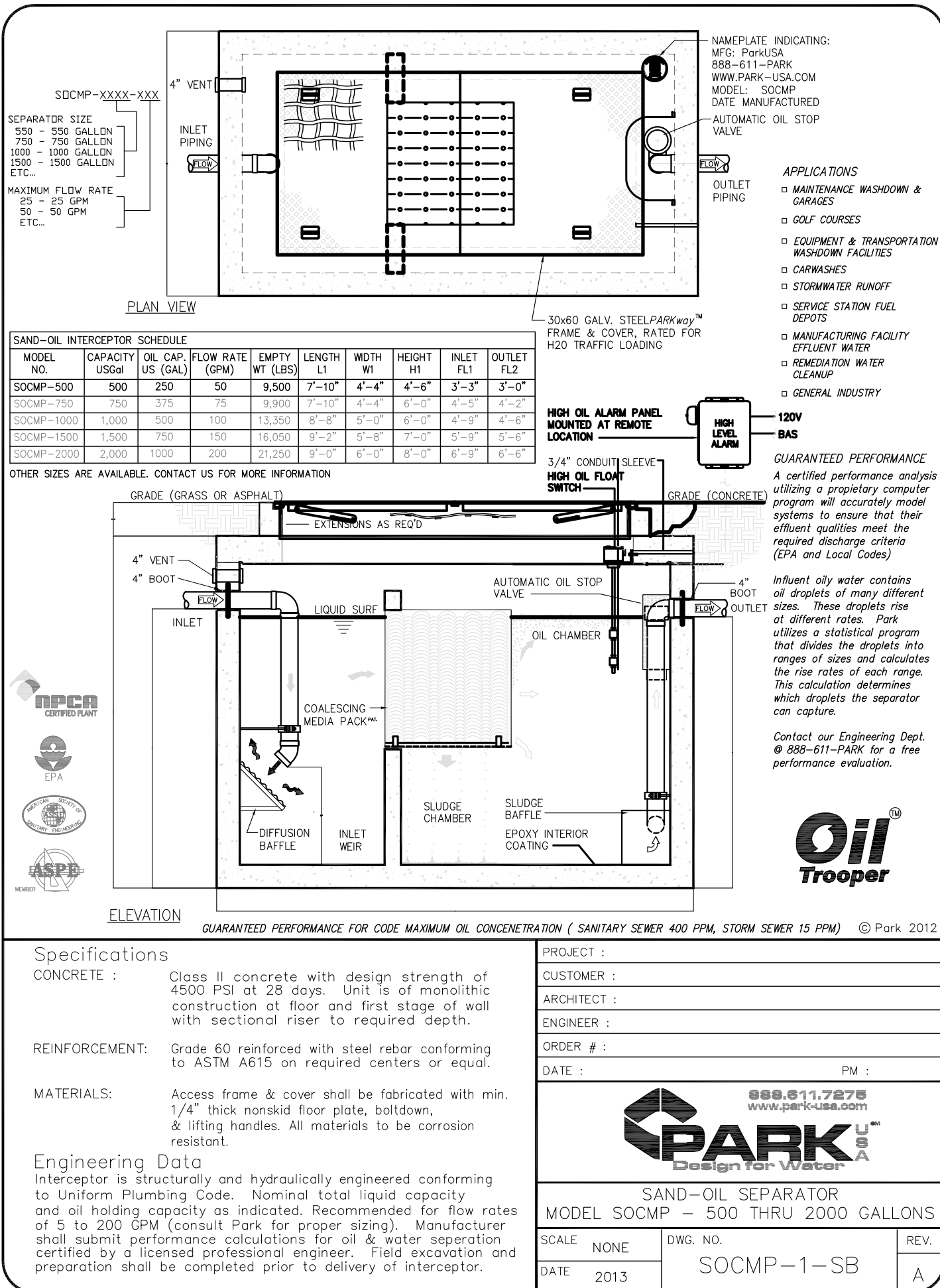
JUNCTION BOX AND GRATE INLET IN CONCRETE PAVEMENT.



#### 7 TYPE A GRATE INLET



#### 8 GRATE INLET CONCRETE BLOCKOUT



OWNER/DEVELOPER  
DANIEL CHANG  
4802 CHESTNUT STREET,  
BELLARE, TEXAS 77027  
EMAIL: DAN.CHANG@PARK-USA.COM  
PHONE: (713) 448-8221  
Governmental Jurisdiction  
CITY OF BELLAIRE

Revisions:	Mark:	Description:	Date:
0	ISSUED FOR PERMIT		JUNE/2021

CIVIL DETAILS  
Drawn by: N.N.  
Checked by: CIVE  
Date of Issue: 07/05/2018  
Project Number: AE-J18-5540  
Sheet Number:

C-2

CAR WASH AT BELLAIRE  
5235 BELLAIRE BLVD.  
BELLAIRE, TX 77401  
2500 W. LOOP S. F.W.Y. SUITE 530  
HOUSTON, TEXAS 77027  
PH: 281-870-8727 / FX: 281-870-8728  
W W W . C I V E . C O M  
TEXAS FRM # 17342

Attachment: 5235 Bellaire Blvd SUP Application (2584 : PH-5235 Bellaire SUP)



## Planning and Zoning Commission

Council Chamber, First Floor of City Hall  
Bellaire, TX 77401-4411



Meeting: 07/12/18 06:00 PM  
Department: Development Services  
Category: Discussion  
Department Head: ChaVonne Sampson  
DOC ID: 2586

### SCHEDULED INFORMATION ITEM (ID # 2586)

#### Item Title:

Discussion on Chapter 2, Administration, Article VII, Boards and Commissions, Section 2-92, Creation of New Boards, subsection (b) of the Code of Ordinances of the City of Bellaire.

#### Background/Summary:

On June 19, 2018, City Council voted to commence a periodic review of the City of Bellaire board and Commissions, pursuant to Section 2-92 (b) of the Code of Ordinances. Subsection (b) of the Code provides as follows:

(b) Prior to adoption of an ordinance creating and establishing any new board, and each five years thereafter, city council shall specifically review and consider the following:

- (1) For boards other than ad hoc advisory boards, whether the establishment of the board will create sufficient betterment to the community to justify the city's delegation of a portion of its authority;
- (2) Whether another board or agency, either public or private, which is already in existence could serve the same purpose;
- (3) The costs, both direct and indirect, of establishing and maintaining the board;
- (4) Whether the board is necessary to enable the city to obtain state or federal grants or other financing; and
- (5) Whether the creation of a new board is the best method of achieving the benefit desired.

This item has been added to each board and commission's July agenda to allow members the opportunity to provide feedback. The Council Liaison to each board/commission will report back to City Council on the discussion during a Workshop Session to be held in August of 2018.